

**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**February 21, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**CONSENT AGENDA**

1. **Approval of Minutes** for the December 20, 2018 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

**2. H2019-001 (Korey)**

Hold a public hearing to discuss and consider a request by Mike and Sonja West for a Certificate of Appropriateness (COA) for modifications to a Landmarked property being a 0.7450-acre parcel of land, identified as Lot 3, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 912 N. Goliad Street, and take any action necessary.

**3. H2019-002 (Korey)**

Hold a public hearing to discuss and consider a request by Mary Ann Ryan for the approval of a Certificate of Appropriateness (COA) allowing the replacement of an existing roof on a High-Contributing property identified as Lots 7 & 8, Block A, Eppstein Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay (HOV) District and the Old Town Rockwall (OTR) Historic District, addressed as 402 Munson Street, and take any action necessary.

**DISCUSSION ITEMS**

4. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 15<sup>th</sup> day of February 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**December 20, 2018**  
**6:00 P.M.**

I. CALL TO ORDER

The meeting was called to order by Chairman Nichols at 6:00 p.m. Board members present were Dick Clark, Maurice Thompson, and Jay Odom. Absent from the meeting was Board members Mike Mishler, Beverly Bowlin and Carolyn Francisco. Staff members present were Planning Director, Ryan Miller, Planner, Korey Brooks and Planning Coordinator, Laura Morales.

II. CONSENT AGENDA

1. Approval of Minutes for the November 15, 2018 Historic Preservation Advisory Board (HPAB) meeting.

Chairman Nichols made a motion to approve the consent agenda. Board member Thompson seconded the motion which passed by a vote of 4-0 with Board members Francisco, Bowlin and Mishler absent.

III. PUBLIC HEARING ITEMS

2. H2018-022

Hold a public hearing to discuss and consider a request by Jarod B. Wicker of RGC's Over-Hauling on behalf of James and Peggy Ricketts for a Certificate of Appropriateness (COA) for an exterior fence replacement on a *High-Contributing Property* zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay (HOV) District, addressed as 401 N. Fannin Street, further identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, and take any action necessary.

Senior Planner, Korey Brooks, provided a brief explanation and background of the request. The applicant is requesting the approval of a Certificate of Appropriateness in conjunction with a Building Permit Fee Waiver and a Small Neighborhood Matching Grant. The subject property is recognized as a High-Contributing Property, which indicates the property retains a high degree of architectural and physical integrity, and possesses strong associations with regard to the structures' historic context. The home is approximately 2,447 square feet, and based on the 2017 Historic Resources Survey the main area was considered to have been constructed in the Folk Victorian style in 1905.

Mr. Brooks further noted that on June 16, 2016, the Historic Preservation Advisory Board approved a COA to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a Reconsideration of Contributing Status request after reviewing the progress of the renovation and recognizing that the High Contributing designation may no longer be appropriate for the property. Following a review, the Board passed a motion to allow the subject property to maintain its High-Contributing designation. As the renovations near completion, the applicants would like to repair/replace the existing fence. Currently, there is picket fence that is 208-foot long and three feet in height. The applicant is proposing to replace the fence and to match the size, style, and color of the existing fence. In addition, the applicant would like to add two sliding gates at the entrance of the 'u-shaped' driveway which has two entrances from the street forming a 'U' on the subject property. According to the applicants, when the gate is closed, it will appear as an extension of the picketed fence and when the gate is opened, the two gates will slide inward toward the center of the two drive entrances.



60 According to the Unified Development Code, fences requiring a fence/building permit are  
61 required to be reviewed by the Historic Preservation Advisory Board. The Unified Development  
62 Code further states that any fence that requires review must be architecturally compatible in  
63 height, materials, color, texture and design with the style and period of the main structure on the  
64 lot. In this case, the applicant is proposing to match the existing fence. When analyzing the  
65 applicant's request to allow replacement of the exterior fence, the proposed fence does conform  
66 to the design guidelines and matches the present style and color of the existing fence. Given the  
67 applicant's scope of work, this request conforms to the development standards stipulated in the  
68 UDC and approval of this request does not appear to negatively impact the historic integrity of  
69 the subject property or neighboring properties.

70  
71 Mr. Brooks advised the Board that the applicant was present and available for questions as well  
72 as staff.

73  
74 Chairman Nichols asked the reason the request has to come before the Board since they are  
75 replacing the fence with like materials. Mr. Brooks stated it was due to a permit being required  
76 for the fence being replaced and the UDC indicates when there is a permit it has to come before  
77 the Board.

78  
79 Chairman Nichols opened up the public hearing and asked the applicant to come forward.

80  
81 Jarod Wicker  
82 4607 County Road  
83 Royse City, TX

84  
85 Mr. Wicker came forward and shared that the reason for replacement of the fence is due to a  
86 number of the wooden posts are beginning to rot and decay and to comply with the current code  
87 they will have to use steel posts.

88  
89 Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no  
90 one indicating such Chairman Nichols closed the public hearing and brought the item back to  
91 the Board for discussion or a motion.

92  
93 Chairman Nichols made a motion to approve H2018-022 with staff recommendations. Board  
94 member Clark seconded the motion which passed with a vote of 4-0 with Board members  
95 Francisco, Bowlin and Mishler absent.

96  
97 3. H2018-023

98 Hold a public hearing to discuss and consider a request by Jarod B. Wicker of RGC's Over-Hauling on  
99 behalf of James and Peggy Ricketts for a building permit fee waiver for a *High-Contributing Property*  
100 zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay (HOV) District, addressed as  
101 401 N. Fannin Street, further identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall,  
102 Rockwall County, Texas, and take any action necessary.

103  
104 Senior Planner, Korey Brooks, shared that the applicant is requesting a building permit fee  
105 waiver for the installation of the fence. For a residential property to be eligible for the Building  
106 Permit Fee Waiver/Reduction Program, the property must be located within the Old Town  
107 Rockwall Historic District or the Southside Residential Neighborhood Overlay District and  
108 involve a minimum investment of \$5,000.00 that is associated with the rehabilitation or  
109 restoration of a property. Properties classified as Contributing are eligible for a full waiver of  
110 building permit fees and properties classified as Non-Contributing are eligible for a reduction in  
111 permit fees of up to 50%. Based on the applicant's scope of work and the estimated valuation of  
112 \$9,000 for the replacement, the permit fees would be \$35.00. Should the Historic Preservation  
113 Advisory Board approve the request, the applicants would be eligible for a 100% reduction of  
114 building permit fees, which would equate to \$35.00.

115  
116 Mr. Brooks advised the Board that the applicant was present and available for questions as well  
117 as staff.

119 Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no  
120 one indicating such Chairman Nichols closed the public hearing and brought the item back to  
121 the Board for discussion or a motion.  
122

123 Board member Clark made a motion to approve H2018-023 with staff recommendations. Board  
124 member Thompson seconded the motion which passed with a vote of 4-0 with Board members  
125 Francisco, Bowlin and Mishler absent.  
126

127  
128 4. H2018-024  
129 Hold a public hearing to discuss and consider a request by Jarod B. Wicker of RGC's Over-Hauling on  
130 behalf of James and Peggy Ricketts for a Small Matching Grant for an exterior fence replacement on a  
131 *High-Contributing Property* zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay  
132 (HOV) District, addressed as 401 N. Fannin Street, further identified as Lot C, Block 122, B. F. Boydston  
133 Addition, City of Rockwall, Rockwall County, Texas, and take any action necessary.  
134

135 Senior Planner, Korey Brooks, provided a brief explanation and background of the request. The  
136 applicant is requesting the approval of a Small Matching Grant. In order for a Contributing  
137 Property to be eligible for the Small Neighborhood Matching Grants Program, the proposed  
138 project must include improvements to the exterior of the property visible to the street such as  
139 landscaping, replacing windows, painting, etc. Based on the applicant's scope of work, and the  
140 estimated valuation of approximately \$9,000.00 for the entire project, the fence  
141 repair/replacement and the painting of the fence would qualify for a matching grant of up to  
142 \$1,000.00. As of December 13, 2018, the Historic Preservation Advisory Board has approved one  
143 small matching grant for FY2019. Should the request be approved, the Small Neighborhood  
144 Matching Grant funds would be reduced to \$4,000.00.  
145

146 Mr. Brooks advised the Board the applicant was present and available for questions as well as  
147 staff.  
148

149 Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no  
150 one indicating such Chairman Nichols closed the public hearing and brought the item back to  
151 the Board for discussion or a motion.  
152

153 Board member Clark made a motion to approve H2018-024 with staff recommendations. Board  
154 member Odom seconded the motion which passed with a vote of 4-0 with Board members  
155 Francisco, Bowlin and Mishler absent.  
156

157 5. H2018-025  
158 Hold a public hearing to discuss and consider a request by Kevin Lefere for the approval of a Certificate  
159 of Appropriateness (COA) allowing the construction of a new office building on a *Non-Contributing*  
160 *Property* identified as Block 26, Garner Addition, City of Rockwall, Rockwall County, Texas, zoned  
161 Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV)  
162 District, addressed as 205 & W. Heath, and take any action necessary.  
163

164  
165 Senior Planner, Korey Brooks, provided a brief explanation and background of the request. The  
166 applicant has submitted an application requesting a Certificate of Appropriateness for the  
167 purpose of constructing a medical office building on a Non-Contributing property that is located  
168 in Planned Development District 50. The applicant is proposing to construct a 2,953 square foot  
169 medical office building on a vacant, Non-Contributing property located within the North Goliad  
170 Corridor Overlay District. Since this district is one of the main entry points into the City,  
171 additional development standards are required in order to protect the scenic and historic  
172 qualities of the district. Staff should note, a medical office building is permitted by-right within  
173 the district and this building will be utilized as a chiropractic office. The submitted site plan and  
174 building elevations propose a two story 30 feet in height Craftsman-style building clad with  
175 hardie board and brick. Additionally the applicant is proposing to utilize a vertical board and  
176 batten style façade and incorporate Craftsman style architectural elements. The applicant states  
177 the reason for choosing a Craftsman-style architecture is to blend with the recently approved  
178 site plan for an office building on the adjacent property to the south.  
179

180 The Unified Development Code, requires that all development within the overlay district be  
181 historic architectural styles such as Bungalow, Cottage, Craftsman, Folk Victorian, or Queen  
182 Anne styles. Additionally, the Unified Development Code states that the height of new  
183 construction shall not exceed 36-feet and shall utilize elements common to the district such as  
184 cladding, roofing material, roof structure, and ornamentation. The existing pattern of building  
185 facades should be incorporated into new developments and utilize a residential roof type such  
186 as gable, hip, gambrel, etc. All decorative fixtures, awnings, signs, and lighting shall be  
187 integrated with other design elements. All new construction within the North Goliad Corridor  
188 Overlay District shall submit proposed building elevations to the Historic Preservation Advisory  
189 Board to review and make recommendations to the Planning and Zoning Commission. Should  
190 this request be approved, the applicant would be required to submit a site plan to the Planning  
191 and Zoning Commission. Additionally, the Unified Development Code states that the Historic  
192 Preservation Advisory Board must approve an application for a Certificate of Appropriateness if  
193 it determines that the application will not adversely affect the character of the site, and the  
194 proposed work is consistent with the regulations contained in the UDC.

195  
196 Mr. Brooks further noted that when analyzing the applicant's request to construct a medical  
197 office building, the proposed elevations seem to conform to all of the above design guidelines  
198 stipulated for the North Goliad Corridor Overlay District. Approval of this request does not  
199 appear to negatively impact the historical integrity of the neighboring properties; however, this  
200 is a discretionary decision for the Historic Preservation Advisory Board.

201  
202 Mr. Brooks advised the Board that the applicant was present and available for questions as well  
203 as staff.

204  
205 Chairman Nichols asked if the request would go before the Architectural Review Board. Mr.  
206 Brooks indicated that the next step once it goes through the Historic Board it would go through  
207 the site plan process which would include review by the Architectural Review Board.

208  
209 Chairman Nichols opened up the public hearing and asked the applicant to come forward.

210  
211 Kevin Lefere  
212 3117 Stoney Hollow Lane  
213 Rockwall, TX

214  
215 Mr. Lefere came forward and provided additional details pertaining to the request. He shared that  
216 a lot of the articulation of the building was based on the articulation with the building on the  
217 adjoining lot that was recently approved.

218  
219 Chairman Nichols asked if they will be seeing a waiver to the 80% masonry requirement. Mr.  
220 Brooks indicated that the North Overlay Corridor allows for the material that the applicant is  
221 presenting therefore no variance is needed.

222  
223 Chairman Nichols asked what roofing material they were going to do as two different options  
224 were provided by the applicant, one being for a composite shingles and metal. Mr. Lefere  
225 indicated that some of the gables that come out over the entrances will likely be stain and seam  
226 and the majority of the roof will be composite shingles.

227  
228 Chairman Odom asked what material the windows would be. Mr. Lefere indicated they would be  
229 vinyl with wood plaid on them.

230  
231 Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no  
232 one indicating such Chairman Nichols closed the public hearing and brought the item back to  
233 the Board for discussion or a motion.

234  
235 Chairman Nichols made a motion to approve H2018-025 with staff recommendations. Board  
236 member Thompson seconded the motion which passed with a vote of 4-0 with Board members  
237 Francisco, Bowlin and Mishler absent.

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IV. DISCUSSION ITEMS

6. Update from Historic Preservation Officer (HPO) regarding historic projects.

Planning Director, Ryan Miller, shared that currently staff is in between projects as the Comprehensive Plan was recently approved and staff will be beginning the implementations of that plan, however staff will be working on projects to bring before the Board.

V. ADJOURNMENT

Chairman Nichols adjourned the meeting at 6:20 p.m.

PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2018.

\_\_\_\_\_  
*DANIEL NICHOLS, CHAIRMAN*

\_\_\_\_\_  
*ATTEST: LAURA MORALES, PLANNING COORDINATOR*



# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Historic Preservation Advisory Board  
**DATE:** February 21, 2019  
**APPLICANT:** Mike and Sonja West  
**CASE NUMBER:** H2019-001; 912 N. Goliad Street

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### SUMMARY

Hold a public hearing to discuss and consider a request by Mike and Sonja West for a Certificate of Appropriateness (COA) for modifications to a Landmarked property being a 0.7450-acre parcel of land, identified as Lot 3, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 912 N. Goliad Street, and take any action necessary.

### BACKGROUND

The subject property is a Landmarked property situated within the North Goliad Corridor Overlay (NGC OV) District, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, and is addressed as 912 N. Goliad Street. The subject property was annexed before 1959 and in 2007, the City Council approved Ordinance No. 07-43 establishing the property as a Landmarked property. The existing home is approximately 2,700 SF, and is commonly referred to as the “Austin-Stacey Home”. According to the Rockwall Historic Resources Survey, the home was constructed in 1893 and is characteristic of Colonial Revival architecture. Previous alterations to the home include replacing the doors and façade materials. The home is two (2) stories in height, clad with vinyl siding, and has a detached garage and swimming pool that were constructed in 1996 and 2002. Landmarked properties are “...properties or structures not contiguous or part of the existing historic district; however, the property is deemed worth preserving due to its historic significance...” In this case, the home is historically significant due to its previous occupants. The original owner of the home was Mr. “Captain” Austin, who was the first elected tax collector and sheriff in Rockwall County. Later he became elected to the State Legislature and owned businesses in Rockwall until around 1938.

On September 20, 2018, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-017] allowing a single-family home to be converted to a residential-office building. The applicants stated their intent to relocate their real estate business (*i.e.* Citywide Real Estate and Property Management Company) and did not propose to make any additional changes to the exterior. Since the structure was being converted from a single-family home to a residential-office building, a parking lot with screening was required to be constructed before the applicants would be granted a Certificate of Occupancy (CO), allowing the business to operate in the office building. On November 27, 2018, the Planning and Zoning Commission approved a site plan for the required parking lot, which has not been constructed. In January 2019, staff was made aware that the applicants had been operating without constructing the parking lot or obtaining a Certificate of Occupancy (CO). In response to this, staff advised the applicants to apply for a Temporary Certificate of Occupancy (TCO), which would allow the business to continue to operate on a temporary basis (*i.e.* 30 days) until the parking lot could be constructed. On January 7, 2019, the applicants submitted an application for a Temporary Certificate of Occupancy (TCO). The TCO was never picked up by the applicants; however, the business continued to operate. Staff notified the applicants that a TCO is not valid until it is picked up from the Building Inspections Department. In response, the applicants picked

up the TCO on February 13, 2019 (*i.e. 44 days after submitting an application*). The applicants have been given 30-days to bring the property into compliance (*i.e. submit engineering plans, construct a parking lot, and apply/be approved for a Certificate of Occupancy*).

## **PURPOSE**

The applicants are requesting approval of a Certificate of Appropriateness (COA) to allow the installation of an ADA compliant ramp and railing. Currently, the applicants are in the process of converting the single-family home into a residential-office building. As a result, the applicants are required to construct an ADA compliant ramp. The proposed ramp will be approximately 42-inches wide, 34-inches in high, 24-feet long, and constructed of wood. The ramp will be painted white. The applicants have provided a site plan showing two (2) possible locations for the proposed ramp and examples of the type of ramp being proposed. Since this is a structural modification to the exterior of the home and visible from the public right-of-way, a Certificate of Appropriateness (COA) is required to be approved by the Historic Preservation Advisory Board (HPAB).

## **ADJACENT LAND USES AND ACCESS**

The subject property is located at 912 N. Goliad Street. The land uses adjacent to the subject property are as follows:

*North:* Directly north of the subject property is a single-family residential subdivision (*i.e. North Towne Subdivision*) that is zoned Single-Family 7 (SF-7) District.

*South:* Directly south of the subject property is a medical office building (*i.e. Heavenly Hands Birthing Center*), which is a *Landmarked* property and zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses.

*East:* Directly east of the subject property is a single-family residential subdivision (*i.e. North Town Subdivision*) that is zoned Single-Family 7 (SF-7) District.

*West:* Directly west of the subject property are several residential-office buildings zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses. Beyond this are several single-family homes zoned Single-Family 10 (SF-10) District.

## **CHARACTERISTICS OF THE PROJECT**

The applicants have submitted a site plan showing two (2) possible options for the location of the proposed ramp. Option 1 proposes installing the ramp on the south side of the structure (*i.e. facing the adjacent medical office building*), utilizing an existing 31-1/8-inch width door. Since the width of the door is not at least 36-inches (*i.e. the minimum width for an ADA compliant door*), this option cannot be considered by the Historic Preservation Advisory Board (HPAB) without requiring the door to be widened to 36-inches. With that being said, Option 2 proposes installing the ramp on the west side of structure (*i.e. facing S. Goliad Street*). This option utilizes an existing door that is 36-inches in width and meets the minimum width of an ADA compliant door. According to the submitted site plan, this option places the ramp directly in front of the structure and impairs visibility of the house from the street. Staff has discussed with the applicants the possibility of locating the ramp on the south side of the building and changing the existing door to an ADA compliant door. The applicants did not favor this option and expressed concerns regarding altering the structural integrity and historic characteristics of the building.

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Section III, *Building Standards*, of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), "...the existing building façade materials on a building should be respected and not be changed or concealed by the introduction of a different material..." and "...should be visually compatible with neighboring historic buildings or structures..." Additionally, the 2012 Texas Accessibility Standards requires the accessible parking space be the "...first available parking space adjacent to the ramp..." In this case, Option 1 (*i.e. locating the ramp locating the ramp on the side of the structure*) does not appear to meet the requirements of the Historic Preservation Guidelines or the 2012 Texas Accessibility Standards. Specifically, the submitted site plan does not indicate the location of the accessible parking space in proximity to the ramp. Additionally locating the ramp in the front of the building impairs visibility from the street and does not appear to be visually compatible with neighboring historic buildings. Staff should note, the adjacent Landmarked property does not have a visible ramp nor are any ramps located on the front of any building along N. Goliad Street. Option 2 would bring the applicants' request into further conformance with the Historic Preservation Guidelines. This involves locating the ramp on the south side of the building. Should the Historic Preservation Advisory Board (HPAB) approve Option 2, staff would suggest the Board include a requirement that the applicants provide a thick vegetative screening in front of the ramp, and replace the existing door with a door that is 36-inches in width. With that being said, this is a discretionary decision for the Historic Preservation Advisory Board (HPAB). Should the Historic Preservation Advisory Board (HPAB) approve this request, staff suggests that the screening of the ramp consist of mature trees (*i.e. minimum of 6-feet in height*), bushes (*a minimum of five [5] gallons*), and tall grasses (*i.e. no shorter than four [4] feet in height*). This will require the applicants to provide staff with an updated landscape plan reflecting the proposed screening and the accessible parking space.


## **CONDITIONS OF APPROVAL**

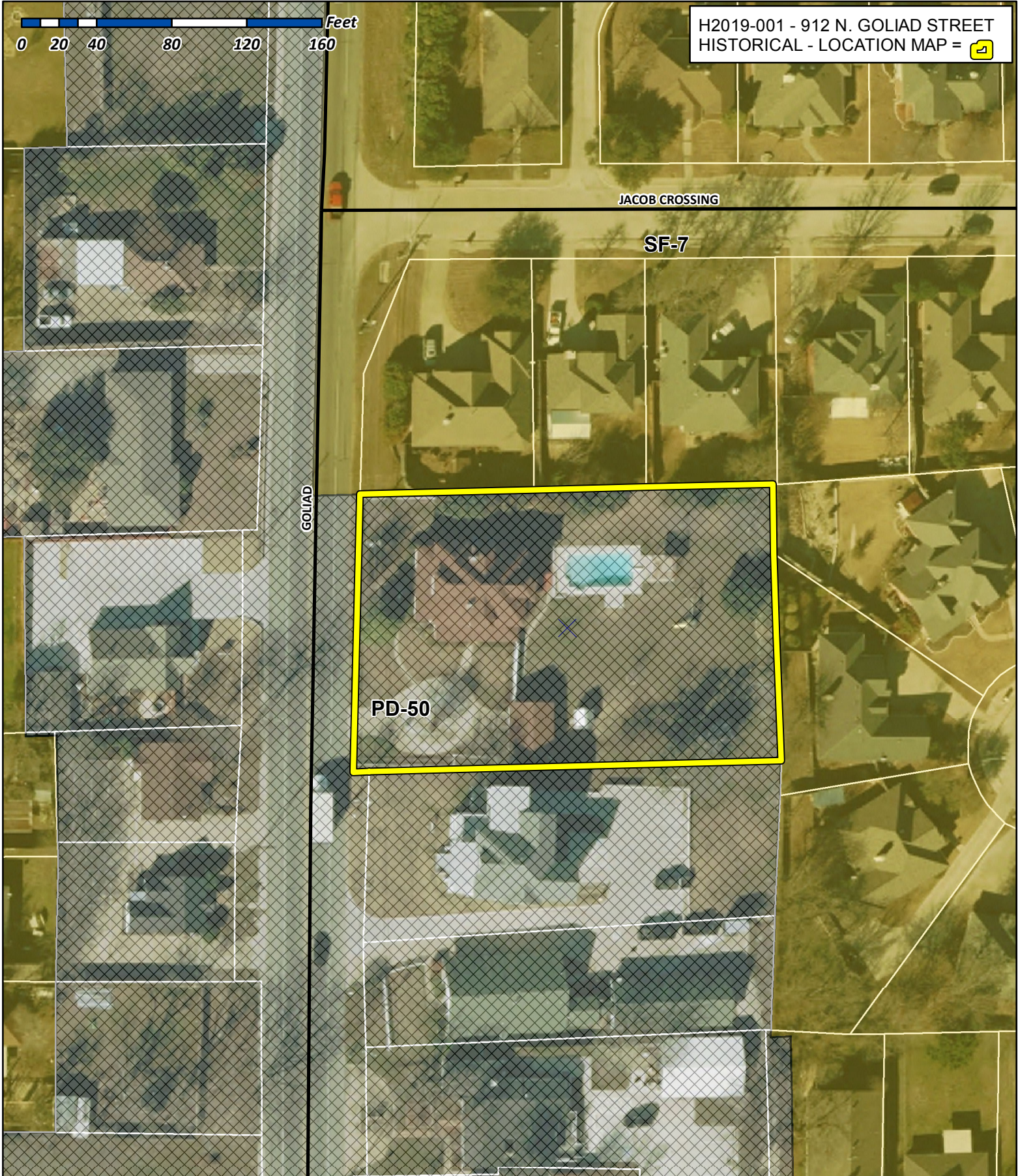
If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Occupancy (COA), staff would propose the following conditions of approval:

- (1) The developer shall plant a thick vegetative screening utilizing a combination of mature trees, or bushes and/or grasses adjacent to the ramp;
- (2) The developer shall submit a revised site plan showing the location of the accessible parking space;
- (3) The developer shall submit a revised landscape plan showing the location and landscape materials proposed for the landscape screening adjacent to the ramp; and
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



0 20 40 80 120 160 Feet

H2019-001 - 912 N. GOLIAD STREET  
HISTORICAL - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







912





MAR 26 2007





MAR 26 2007





MAY 9 2005





AUSTIN HOME | 912 N. GOLIAD | ROCKWALL | 1893 | STATUS RESTORED



**HHM ID 21524      912 GOLIAD ST**



Oct 2016

Image ID 22034



Coordinates: 32.9379136, -96.4598885

**IDENTIFICATION**

Parcel ID **14173**  
Street number **912**

Street name **GOLIAD**  
Street type **ST**

**DESCRIPTION**

Type **Building - Residential - Single-Family House - Modified L-Plan**  
Stylistic influences **Colonial Revival**

Exterior wall materials **Vinyl**  
Stories **2**

**ROOF**

Roof shape **Hipped**  
Roof materials **Asphalt composition shingles**  
Number of chimneys **2**

Chimney locations **Internal, Side**  
Chimney materials **Brick**  
Chimney features **Chimney cap**

**DOORS AND WINDOWS**

Door types **Single door primary entrance**  
Door features **Screens**

Window types **Double-hung**  
Window materials **Wood**

**PORCH**

Porch type **One story, Full width, Wrap-around**  
Porch roof type **Hipped**

Porch support type **Chamfered posts**

**LANDSCAPE**

Other outbuildings **Non-historic garage**

**HISTORY**

Year built **1893**

Historic name **AUSTIN-STACEY HOUSE**

**INTEGRITY**

Alterations **Doors replaced, Exterior wall materials replaced**

**RECOMMENDATIONS**

Recommended NRHP designations **Recommended individually eligible for the NRHP, Recommended contributing to a NRHP district**

Priority ranking **High**

Recommended local designations **Recommended eligible as a local landmark, Recommended contributing to a local historic district**

**PRIOR DESIGNATIONS**

Prior local designations **Landmarked**

HHM ID 21524

912 GOLIAD ST

IMAGES



Oct 2016

Image ID 22034



Oct 2016

Image ID 22035



HHM ID 21524

912 GOLIAD ST

IMAGES



Oct 2016

Image ID 22036



February 7, 2019

Historical Preservation Advisory Board

Certificate of Appropriateness

RE: 912 N. Goliad St, Rockwall, TX 75087

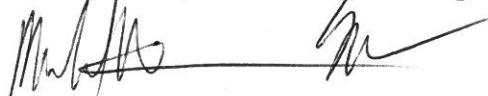
Site plan attached for review of ADA compliant ramp. Two options available:

- 1) Option 1 on south side of property. Ramp extending from proposed parking area to porch level of entry. Asking boards permission to use 31 7/8" door without alterations as to maintain the structural integrity of the historic nature of the building. Ramp could have hedgerow planted alongside the handrail to soften the sight line.
- 2) Option 2. Run the ADA ramp on the west side of property (ramp would be same side side as Goliad). This would put the ramp on display at the front and alter the visual front elevation.

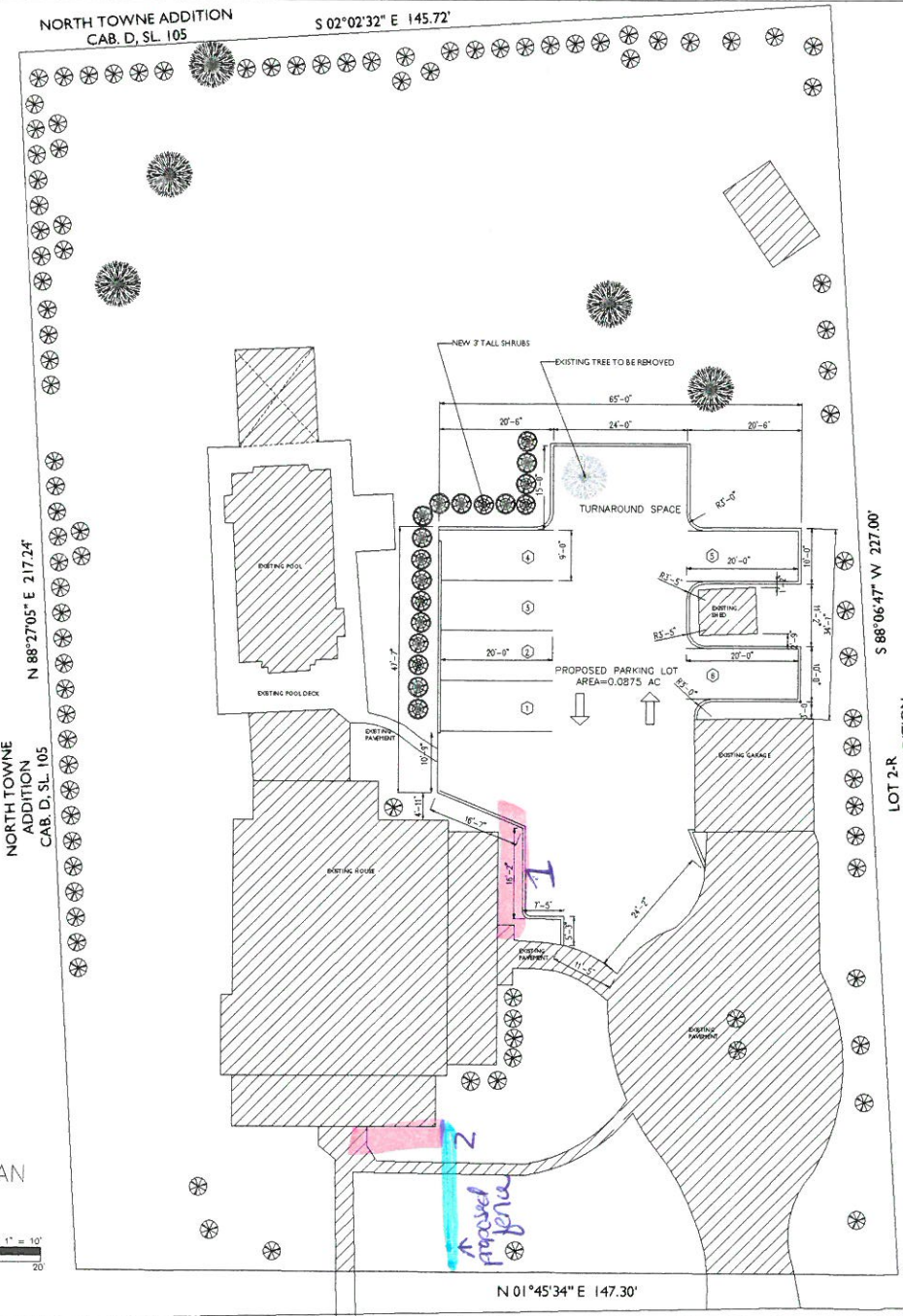
Photograph of wheel chair individual shows the 1/8 of an inch shortage does not alter the use of effectiveness of the entry on the south side for wheel chair accessibility for Option 1.

Option 2 has a 36 inch door. This would not be an issue running along Goliad. Visually it's not as appealing.

Thank you for your time in considering our request.

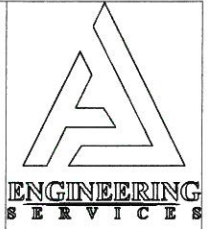


Mike and Sonja West



- 24' AISLE WIDTH
- 20' STALL DEPTH
- 9' STALL WIDTH
- ① PARKING COUNT
- ⊗ EXISTING 3' TO 12' TALL SHRUBS
- ⊗ EXISTING TREE
- ⊗ NEW 3' TALL SHRUBS

PROPOSED SITE PLAN  
 SCALE: 1" = 10'-0"



**AJ ENGINEERING SERVICES LLC**

FIRM# F-19793  
 OFFICE@AJENGINEERINGS.COM  
 WWW.AJENGINEERINGS.COM  
 PHONE:(469)432-6093  
 FORT WORTH, TX 76137

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 AJ ENGINEERING SERVICES  
 LLC

DRAWINGS ISSUED FOR:  
 PERMIT: 12/14/2018  
 PRICING:  
 CONSTRUCTION:  
 DRAWING BY: AJ  
 CHECKED BY: AJ

REVISIONS:

1	00/00/2018
2	00/00/2018
3	00/00/2018

**NEW PARKING**

**912 N GOLIAD  
 ST, Rockwall  
 TX 75087**

SHEET TITLE  
**PROPOSED  
 SITE PLAN**

SHEET# **C0.1**

PROJECT #18054



1.

912 Gol. ad.  
Rock Wall TX.

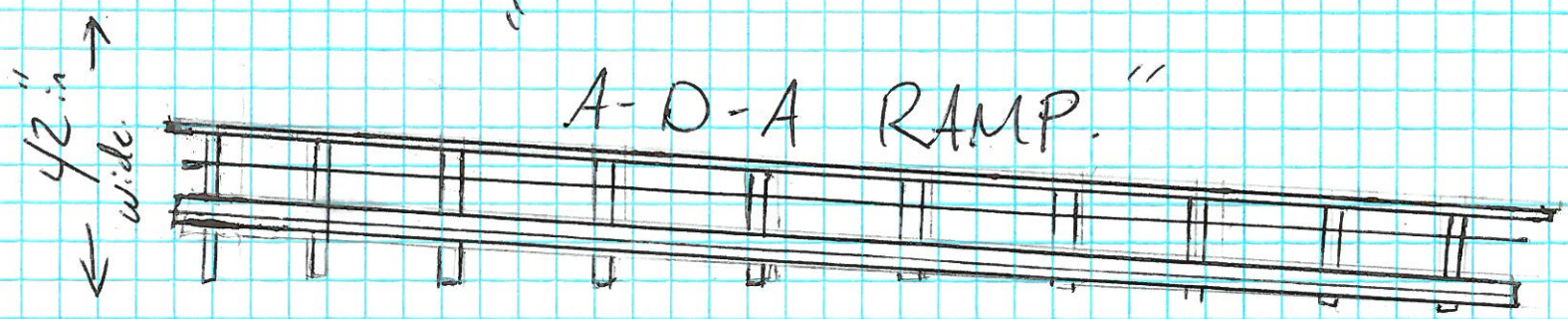
SIDE DOOR

FRONT DOOR

BACK DOOR

A-D-A ENTRANCE RAMP.

OPTION 1



42" wide

24'ft

HAND RAILS  
32" High

Wood A-D-A RAMP

2x6 - 2x4 - 4x4 post



2.

912 Goliad  
Rockwall TX.

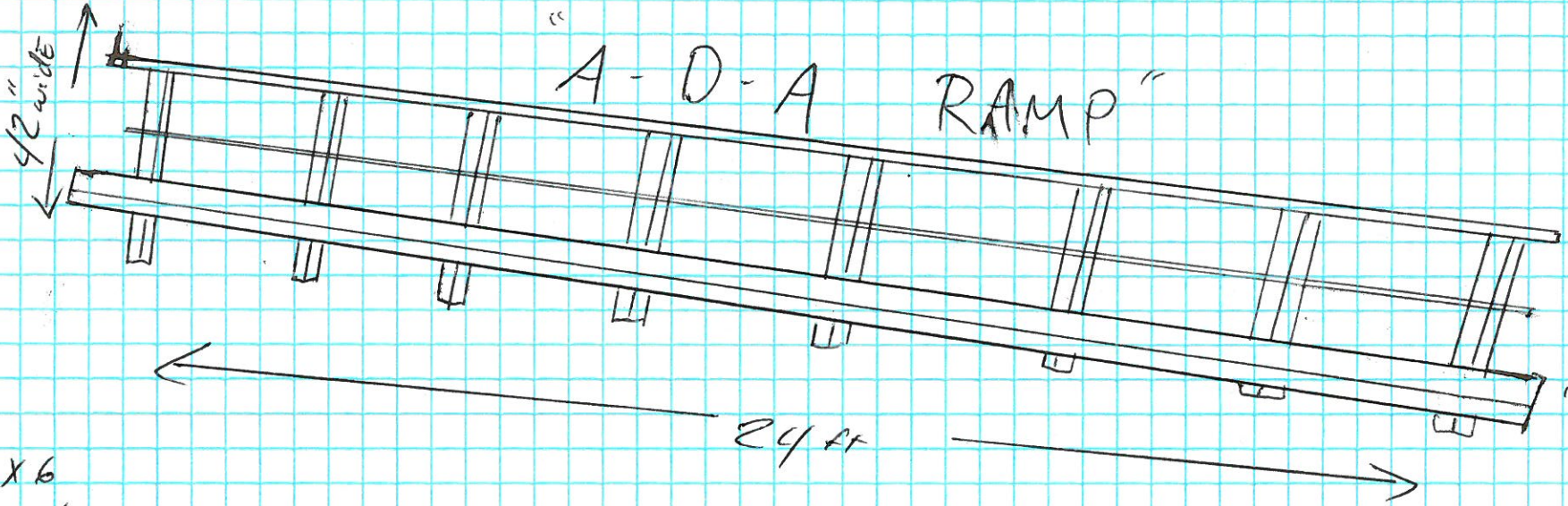
OPTION  
2

SIDE DOOR

BACK DOOR

"Front"  
Door

A-D-A RAMP



42" wide

"A-D-A RAMP"

24 ft

HAND  
RAILS.  
34 in  
1.96"

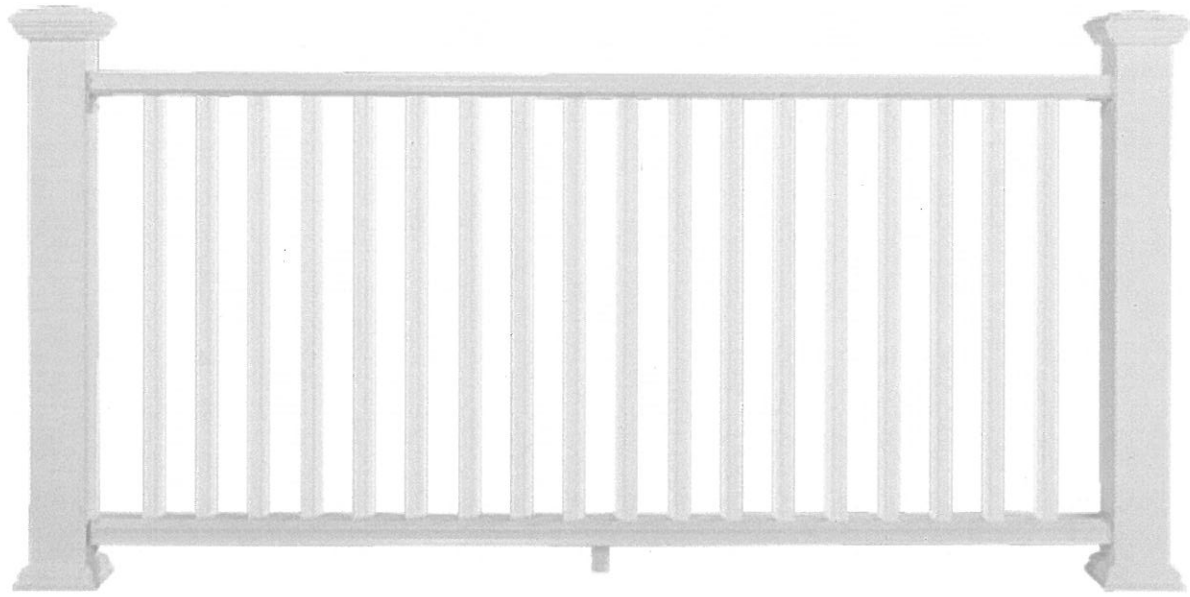
- 2x6
- 2x4
- 4x4 Post.





















# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board

**DATE:** February 21, 2019

**APPLICANT:** Mary Ann Ryan

**CASE NUMBER:** H2019-002; *402 Munson Street*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Mary Ann Ryan for the approval of a Certificate of Appropriateness (COA) allowing the replacement of an existing roof on a High-Contributing property identified as Lots 7 & 8, Block A, Eppstein Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay (HOV) District and the Old Town Rockwall (OTR) Historic District, addressed as 402 Munson Street, and take any action necessary.

### BACKGROUND

The subject property is a High Contributing property situated within the Old Town Rockwall (OTR) Historic and the Historic Overlay (HOV) Districts, zoned Single-Family 7 (SF-7) District, and is addressed as 402 Munson Street. The subject property was annexed before 1959. The home on the subject property is approximately 3,851 SF. According to the City of Rockwall Historic Resources Survey, the home was constructed in 1885, and is characteristic of Folk Victorian style architecture. Previous alterations to the home include the replacement of the doors, porch supports, and balustrades. The main structure is two (2) stories, clad with horizontal wood siding, and utilizes a hipped roof design. In addition, the home has a rear addition and a detached garage that were constructed between 1965 and 1969. High Contributing properties are considered to be the most significant properties within the Old Town Rockwall (OTR) Historic District, retain a high degree of architectural and physical integrity, and have very few --if any-- alterations.

### PURPOSE

The applicant is requesting approval of a Certificate of Appropriateness (COA) to allow replacement of the existing roof on the main structure. Currently, the roof is a combination of asphalt shingles and metal tiles that are both grey/silver. According to the applicant, the roof is in disrepair and needs to be replaced. The existing metal tiles are no longer available so the applicant is requesting to utilize an alternative material (*i.e. Decra Tile*). The proposed roofing material is a decorative metal tile that has a stone overlay providing texture to the tile. Since, this material is different from the existing material, a Certificate of Appropriateness (COA) is required to be approved by the Historic Preservation Advisory Board (HPAB).

### ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of Star and Munson Streets. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several Non-Contributing properties that are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are three (3) Non-Contributing properties and one (1) High-Contributing property followed by the southern boundary of the Historic District. This area is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is one (1) Non-Contributing property and one (1) Medium-Contributing property followed by the eastern boundary of the Historic District. This area is zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property three (3) High-Contributing properties, one (1) Medium-Contributing property, two (2) Low-Contributing properties, and one (2) Non-Contributing property. This area is zoned Single-Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE PROJECT**

The Historic Preservation Guidelines were established in order to promote the preservation, rehabilitation, and adaptive reuse of old buildings to contribute to the community's aesthetics and economic vitality in the future. In order to facilitate this, property owners within the Historic District are required to obtain a Certificate of Appropriateness (COA) from the Historic Preservation Advisory Board (HPAB) before any exterior modifications can be made. The applicant's request to make renovations to the home generally conforms to the intent of the Historic Preservation Guidelines, with the exception of the type of roofing materials. The applicant is proposing to replace the existing roof with a stone-coated metal tile roof. Currently, the roof is a combination of metal tiles and grey asphalt shingles and the proposed material is a red metal, stone-coated tile. In this case, the Historic Preservation Advisory Board (HPAB) is tasked with reviewing the proposed roofing material and determining if the request negatively impacts the subject property or other properties within the Historic District.

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**


According to Section III, *Building Standards*, of Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC), "...materials, structural, and decorative elements and the manner in which they are used, applied, or joined together should be typical of the style and period of the existing structure...", and "...alterations should be visually compatible with neighboring historic buildings or structures..." Additionally, "...the roof materials/colors should be visually compatible and compliment the style and period of the historic structure...where historically typical materials are no longer available, compatible alternatives will be allowed..." The applicant is proposing to utilize a red, decorative metal tile that has been covered with stone in order to give texture to the tile. In this case, the proposed roofing materials do not appear to meet the requirements of the Historic Preservation Guidelines. Specifically, the color, design, and stone coating on the tiles do not appear to be a compatible alternative, which represents the style and period of the home. Staff should note, the surrounding homes utilize varying tones of grey or tan roofs. The approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

## **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 12.5 25 50 75 100 Feet

H2019-002 - 402 MUNSON STREET  
HISTORICAL - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







402









DJ2-W220





RAM 1500  
TKV-682

Garage door

Black metal archway

White picket fence





232  
456  
1237

NOV 12 2004





JUN 28 2004





JUN 28 2004



HHM ID 22011

402 MUNSON ST

IMAGES



Oct 2016

Image ID 22015



Oct 2016

Image ID 22017









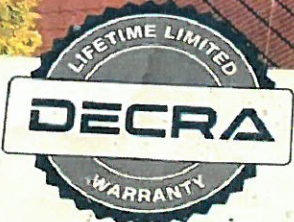






**DECRA**

**Tile**



**Tile Features:**

- Transferable Lifetime Limited Warranty (including 120 mph winds and hail penetration)
- Class 4 Impact Resistance to UL 2218 by Underwriters Laboratories (Highest Rating)
- Lightweight - Only 150 lbs. / 100 sq. ft. Installed
- Non-Combustible Class A Rated Material
- Won't Crack, Break, Burn, Curl, Split or Rot
- Walkable, Low Maintenance, Long Life
- Non-Porous, Freeze / Thaw Resistant
- Interlocking Panels Provide Protection Against the Elements
- Tear-Off May Not Be Required (See local code)
- Reduces Energy Consumption & Landfill Impact
- Installs Over Solid Deck on Battens or Battens and Counter Battens

**DECRA**  
Roofing Systems

DECRA Roofing Systems, Inc., Corona CA  
877.GO.DECRA (463.3272)  
www.decra.com



Contractor  
MUST  
REGISTER

Contractor Registration Form  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_



**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**April 18, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**CONSENT AGENDA**

1. **Approval of Minutes** for the *February 21, 2019* Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

2. **H2019-003 (Korey)**

Hold a public hearing to discuss and consider a request by John and Katherine Donahoe for a Certificate of Appropriateness (COA) for modifications to a *Landmarked Property* being a one (1)-acre parcel of land, identified as Lot 1, Isaac Pena Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 925 N. Goliad Street, and take any action necessary.

**DISCUSSION ITEMS**

3. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 12<sup>th</sup> day of April 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**February 21, 2019**  
**6:00 P.M.**

I. CALL TO ORDER

The meeting was called to order by Chairman Nichols at 6:00 p.m. Board members present were Dick Clark, Beverly Bowlin, Carolyn Francisco and Jay Odom. Absent from the meeting was Board members Mike Mishler and Maurice Thompson. Staff members present were Planning Director, Ryan Miller, Planner, Korey Brooks and Planning Coordinator, Laura Morales.

II. CONSENT AGENDA

1. Approval of Minutes for the December 20, 2018 Historic Preservation Advisory Board (HPAB) meeting.

Board member Clark made a motion to approve the consent agenda. Board member Odom seconded the motion which passed by a vote of 5-0 with Board members Mishler and Thompson absent.

III. PUBLIC HEARING ITEMS

2. H2019-001

Hold a public hearing to discuss and consider a request by Mike and Sonja West for a Certificate of Appropriateness (COA) for modifications to a Landmarked property being a 0.7450-acre parcel of land, identified as Lot 3, Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 912 N. Goliad Street, and take any action necessary.

Senior Planner, Korey Brooks, provided a brief explanation of the request. The applicants are requesting approval of a Certificate of Appropriateness to allow the installation of an ADA compliant ramp and railing. Currently, the applicants are in the process of converting the single-family home into a residential-office building. As a result, the applicants are required to construct an ADA compliant ramp. The proposed ramp will be approximately 42-inches wide, 34-inches in high, 24-feet long, and constructed of wood. The ramp will be painted white. The applicants have provided a site plan showing two possible locations for the proposed ramp and examples of the type of ramp being proposed. Since this is a structural modification to the exterior of the home and visible from the public right-of-way, a Certificate of Appropriateness is required to be approved by the Historic Preservation Advisory Board. The applicants have submitted a site plan showing two possible options for the location of the proposed ramp. Option 1 proposes installing the ramp on the south side of the structure facing the adjacent medical office building), utilizing an existing 31-1/8-inch width door. Since the width of the door is not at least 36-inches, the minimum width for an ADA compliant door, this option cannot be considered by the Historic Preservation Advisory Board without requiring the door to be widened to 36-inches. With that being said, Option 2 proposes installing the ramp on the west side of structure facing S. Goliad Street. This option utilizes an existing door that is 36-inches in width and meets the minimum width of an ADA compliant door. According to the submitted site plan, this option places the ramp directly in front of the structure and impairs visibility of the house from the street. Staff has discussed with the applicants the possibility of locating the ramp on the south side of the building and changing the existing door to an ADA compliant door. The applicants did not favor this option and expressed concerns regarding altering the structural integrity and historic characteristics of the building. According to the Unified Development Code the existing building façade materials on a building should be respected and not be changed or concealed by the introduction of a different material and should be visually compatible with neighboring historic buildings or structures. Additionally, the 2012 Texas Accessibility Standards requires the accessible parking space be the first available parking



62 space adjacent to the ramp. In this case, Option 1 locating the ramp locating the ramp on the  
63 side of the structure does not appear to meet the requirements of the Historic Preservation  
64 Guidelines or the 2012 Texas Accessibility Standards. Specifically, the submitted site plan does  
65 not indicate the location of the accessible parking space in proximity to the ramp. Additionally  
66 locating the ramp in the front of the building impairs visibility from the street and does not  
67 appear to be visually compatible with neighboring historic buildings. Staff should note, the  
68 adjacent Landmarked property does not have a visible ramp nor are any ramps located on the  
69 front of any building along N. Goliad Street. Option 2 would bring the applicants' request into  
70 further conformance with the Historic Preservation Guidelines. This involves locating the ramp  
71 on the south side of the building. Should the Historic Preservation Advisory Board approve  
72 Option 2, staff would suggest the Board include a requirement that the applicants provide a thick  
73 vegetative screening in front of the ramp, and replace the existing door with a door that is 36-  
74 inches in width. With that being said, this is a discretionary decision for the Historic  
75 Preservation Advisory Board. Should the Historic Preservation Advisory Board approve this  
76 request, staff suggests that the screening of the ramp consist of mature trees minimum of 6-feet  
77 in height, bushes a minimum of five gallons, and tall grasses no shorter than four feet in height.  
78 This will require the applicants to provide staff with an updated landscape plan reflecting the  
79 proposed screening and the accessible parking space.

81 Planning Director, Ryan Miller, advised the Board that the applicant was present and available  
82 for questions as well as staff.

83  
84 Board member Bowlin asked if there is a time frame that will be given.

85  
86 Chairman Nichols opened up the public hearing and asked the applicant to come forward.

87  
88 Mike West  
89 299 Shenandoah  
90 Rockwall, TX

91  
92 Mr. West came forward and provided a brief explanation of the request. He indicated the purpose  
93 of purchasing this historical home is to maintain the historic nature of the property.

94  
95 Chairman Nichols asked if anyone wished to speak to come do so there being no one indicating  
96 such Chairman Nichols closed the public hearing and brought the item back to the Board for  
97 discussion or action.

98  
99 After extensive general discussion of both options presented by the applicant Chairman Nichols  
100 made a motion to approve H2019-001 with option #1 and staff recommendations with the. Board  
101 member Francisco seconded the motion which passed by a vote of 5-0 with Board members  
102 Mishler and Thompson absent.

103  
104  
105 3. H2019-002

106 Hold a public hearing to discuss and consider a request by Mary Ann Ryan for the approval of a  
107 Certificate of Appropriateness (COA) allowing the replacement of an existing roof on a High-Contributing  
108 property identified as Lots 7 & 8, Block A, Eppstein Addition, City of Rockwall, Rockwall County, Texas,  
109 zoned Single-Family 7 (SF-7) District, situated within the Historic Overlay (HOV) District and the Old  
110 Town Rockwall (OTR) Historic District, addressed as 402 Munson Street, and take any action  
111 necessary.

112  
113 Planning Director, Ryan Miller, provided a brief explanation of the request. The applicant is  
114 requesting approval of a Certificate of Appropriateness to allow replacement of the existing roof  
115 on the main structure. Currently, the roof is a combination of asphalt shingles and metal tiles  
116 that are both grey/silver. According to the applicant, the roof is in disrepair and needs to be  
117 replaced. The existing metal tiles are no longer available so the applicant is requesting to utilize  
118 an alternative material which is Decra Tile. The proposed roofing material is a decorative metal  
119 tile that has a stone overlay providing texture to the tile. Since, this material is different from the  
120 existing material, a Certificate of Appropriateness is required to be approved by the Historic  
121 Preservation Advisory Board.  
122

123 The subject property is a High Contributing property situated within the Old Town Rockwall  
124 Historic and the Historic Overlay Districts, zoned Single-Family 7 District, and is addressed as  
125 402 Munson Street. The subject property was annexed before 1959. The home on the subject  
126 property is approximately 3,851 square feet. According to the City of Rockwall Historic  
127 Resources Survey, the home was constructed in 1885, and is characteristic of Folk Victorian  
128 style architecture. Previous alterations to the home include the replacement of the doors, porch  
129 supports, and balustrades. The main structure is two stories, clad with horizontal wood siding,  
130 and utilizes a hipped roof design. In addition, the home has a rear addition and a detached  
131 garage that were constructed between 1965 and 1969. High Contributing properties are  
132 considered to be the most significant properties within the Old Town Rockwall Historic District,  
133 retain a high degree of architectural and physical integrity, and have very few, if any, alterations.  
134 The applicant's request to make renovations to the home generally conforms to the intent of the  
135 Historic Preservation Guidelines, with the exception of the type of roofing materials. The  
136 applicant is proposing to replace the existing roof with a stone-coated metal tile roof. Currently,  
137 the roof is a combination of metal tiles and grey asphalt shingles and the proposed material is a  
138 red metal, stone-coated tile. In this case, the Historic Preservation Advisory Board is tasked  
139 with reviewing the proposed roofing material and determining if the request negatively impacts  
140 the subject property or other properties within the Historic District.

141  
142 Mr. Miller further noted that according to the Unified Development Code materials, structural,  
143 and decorative elements and the manner in which they are used, applied, or joined together  
144 should be typical of the style and period of the existing structure and alterations should be  
145 visually compatible with neighboring historic buildings or structures. Additionally, the roof  
146 materials/colors should be visually compatible and compliment the style and period of the  
147 historic structure where historically typical materials are no longer available, compatible  
148 alternatives will be allowed. The applicant is proposing to utilize a red, decorative metal tile that  
149 has been covered with stone in order to give texture to the tile. In this case, the proposed  
150 roofing materials do not appear to meet the requirements of the Historic Preservation  
151 Guidelines. Specifically, the color, design, and stone coating on the tiles do not appear to be a  
152 compatible alternative, which represents the style and period of the home. The surrounding  
153 homes utilize varying tones of grey or tan roofs.

154  
155 Mr. Miller advised the Board that the applicant was present and available for questions as well as  
156 staff.

157  
158 Chairman Nichols opened up the public hearing and asked the applicant to come forward.

159  
160 Keith Robinson  
161 (No address provided)

162  
163 Mr. Robinson came forward and indicated he is filling in for the project manager who was unable  
164 to attend the meeting. He provided a brief explanation of the request and provided a sample of  
165 the roof that is currently on the home that was damaged by hail as well as a sample of what they  
166 wish to use.

167  
168 Chairman Nichols asked if the Board would dictate the color or would the applicant have the  
169 ability to choose. Mr. Miller indicated that the Board could dictate in this case because the home  
170 is High Contributing property and is subject to the guidelines which do dictate the color to be  
171 compatible to the structure itself. Chairman Nichols asked what the color of the asphalt shingle  
172 would be. Mr. Robinson stated he did not know the color of the asphalt. Mr. Miller indicated that  
173 the Board would need to know the color of the asphalt shingle color if they were to approve the  
174 case however the Board could make a recommendation of a color that the applicant could then  
175 provide for staffs review.

176  
177 Chairman Nichols asked if anyone wished to speak to come do so there being no one indicating  
178 such Chairman Nichols brought the item back to the Board for additional discussion or action.

179  
180 Chairman Nichols generally shared not being in favor of the color or style being presented and  
181 rather leans more on the gray scale however without knowing the composite shingle colors it  
182 would be hard to make a recommendation.

183



184 General discussion took place between the Board in regards to the color and style of the  
185 product that is being proposed with the Board generally not being in favor. They shared that the  
186 style is more of a Mediterranean and they feel it is not fitting to a Historical home and is out of  
187 place in a Historical area. They indicated they would be open to looking at other styles/color if  
188 the applicant would be willing to provide. Chairman Nichols shared that the case should be  
189 tabled and have the homeowner present to provide feedback as to what other options they  
190 would be open to.

191  
192 Chairman Nichols made a motion to table H2019-002. Board member Clark seconded the motion  
193 which passed by a vote of 5-0 with Board members Mishler and Thompson absent.  
194

195  
196 IV. DISCUSSION ITEMS

197  
198 4. Update from Historic Preservation Officer (HPO) regarding historic projects.

199  
200 Planning Director, Ryan Miller, indicated there are currently no active historic projects.  
201

202 V. ADJOURNMENT

203  
204 Chairman Nichols adjourned the meeting at 6:58  
205  
206  
207

208 PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE  
209 CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2019.  
210

211  
212 \_\_\_\_\_  
213 *DANIEL NICHOLS, CHAIRMAN*  
214

215  
216 \_\_\_\_\_  
217 *ATTEST: LAURA MORALES, PLANNING COORDINATOR*  
218  
219





# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** April 18, 2019  
**APPLICANT:** John and Katherine Donahoe  
**CASE NUMBER:** H2019-003; *COA for 925 N. Goliad Street*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by John and Katherine Donahoe for a Certificate of Appropriateness (COA) for modifications to a *Landmarked Property* being a one (1)-acre parcel of land, identified as Lot 1, Isaac Pena Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 925 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property is a *Landmarked Property* situated within the North Goliad Corridor Overlay (NGC OV) District, zoned Planned Development 50 (PD-50) for Residential-Office (RO) District land uses, and is addressed as 925 N. Goliad Street. The property was annexed prior to 1959 and on September 6, 2005, the City Council approved Ordinance No. 05-43 designating the property as a *Landmark Property*. The existing home is an approximately 3,970 SF single-family home known as the historic "Cade Home." The subject property also has two (2) wooden accessory buildings. According to the City of Rockwall's Historic Resources Survey, the home and accessory buildings were constructed in 1913 and are characteristic of Prairie style architecture. Prairie style homes typically utilize a lot-pitched roof that is usually hipped. Additional characteristics of Prairie style homes include wide, overhanging eaves, two (2)-stories, one (1)-story wings or porches, massive square porch supports, and the form usually emphasizes horizontal lines. Previous alterations to the home include replacement of the doors. The structure is two (2) stories, clad with horizontal wood siding, and utilizes a hipped roof design. Due to these characteristics, the home seems to contain all of the characteristics of a Prairie style home. Landmark properties are "...properties or structures not contiguous or part of the existing historic district; however, the property is deemed worth preserving due to its historic significance..." In this case, the home is historically significant due to its previous occupants. James and Dora Cade first lived on the adjacent lot and materials from that house were used to build the two (2) accessory buildings on the property. Mr. Cade was a cattle buyer and a butcher and also worked at Rockwall Bank for a period of time before becoming a farmer and raising livestock. He was a partner in a meat market and icehouse called Cade, Bedingfield, and Phillips. Mr. Cade is thought to have brought the first registered Longhorn cattle to Rockwall.

### **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) in conjunction with a building permit fee waiver and a small neighborhood matching grant [*Case Nos. H2019-004 and H2019-005*] for the purpose of converting a single-family home into a residential-office building. Currently, the applicant is in the process of converting the residential structure to a commercial structure. Since the land use is changing from a residential land use to a commercial land use, the property is required to construct a parking lot and provide ADA compliant access to the proposed residential-office building. The proposed parking lot will be located behind the main structure and the



sidewalk will be located at the south façade of the building (*i.e. the side of the building*). In addition, the applicant will provide railing adjacent to the sidewalk and at the entrances that have stairs.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located 925 N. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a building that is zoned Neighborhood Services (NS) District.

South: Directly south of the subject property is a single-family residential home that is zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses.

East: Directly east of the subject property is a single-family residential subdivision (*i.e. North Towne Addition*) that is zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are two (2) single-family residential homes that are non-platted lots zoned Single-Family 10 (SF-10) District.

### **CHARACTERISTICS OF THE PROJECT**

Currently, there is a small parking lot in the front of the main structure that is accessed from S. Goliad Street [SH-205]. The applicant is proposing to remove the existing 2,306 SF parking lot and driveway and replace it with grass. The applicant is proposing to expand the parking area in the rear of the building to approximately 2,333 SF (*i.e. the net addition of pavement will be 27 SF*). Landscaping (*e.g. pampas grass*) in conjunction with an existing fence will be utilized as screening from the adjacent property. Staff should note, the existing fence is not located on the subject property. Should the property owner remove the fence, the adjacent residential property will only have landscape screening. Due to ADA standards, a commercial building must meet the Texas Accessibility Standards. Due to this, the applicant is required to add a metal handrail down the middle of the front, sides, and rear steps. The proposed handrail in the front of the property will be painted white and the other handrails will be painted black. In addition, the applicant is proposing to provide ADA accessible access from the rear parking lot via a ramp. According to the applicant, the existing stairs will be removed; however, the existing architectural features will remain and border the ramp. The required railing along the ramp will be vinyl that simulates wood, while matching the exterior of the building. The only interior modifications will be converting the existing restroom to meet ADA requirements, adding handrails to the stairs, and adding doors to the dining room. The applicant has submitted example photos of the proposed landscaping and railing and a site plan showing the location of the new parking lot and sidewalk. The proposed ramp will be located toward the rear (*i.e. south side*) of the home and will connect to the existing wrap-around porch. The porch will provide access to the side and front doors.

### **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Subsection 6.04.E, *Parking Area Restrictions*, of Section 6, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), "...any surface parking shall be provided in well-screened parking lots at the rear or behind the main façade of the building..." Additionally, new buildings or alterations shall be compatible with the adjoining area. In this case, the relocation of the parking lot and sidewalk from the front of the building to the rear brings the building into conformance with the overlay district standards with regard to location of parking lots. Additionally, since the applicant is utilizing the existing fence and additional landscaping as screening, the request appears to be in conformance with the overlay district with regard to screening of parking lots. Since, the structure is being converted from a residential land use to a commercial land use, it is expected that modifications to the exterior will be required. In this case, the applicant is proposing to utilize railing that appears to match the style of the building. Since the



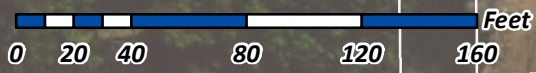
sidewalk will be located toward the side of the structure, it will have limited visibility from the street. Staff should note, although the property is a *Landmarked Property*, the applicant's request does not appear to negatively impact the subject property or the neighboring properties and approval of this request is discretionary to the Historic Preservation Advisory Board (HPAB). Should this request be approved, staff would recommend that landscape screening be provided adjacent to the ramp.

### **CONDITIONS OF APPROVAL**

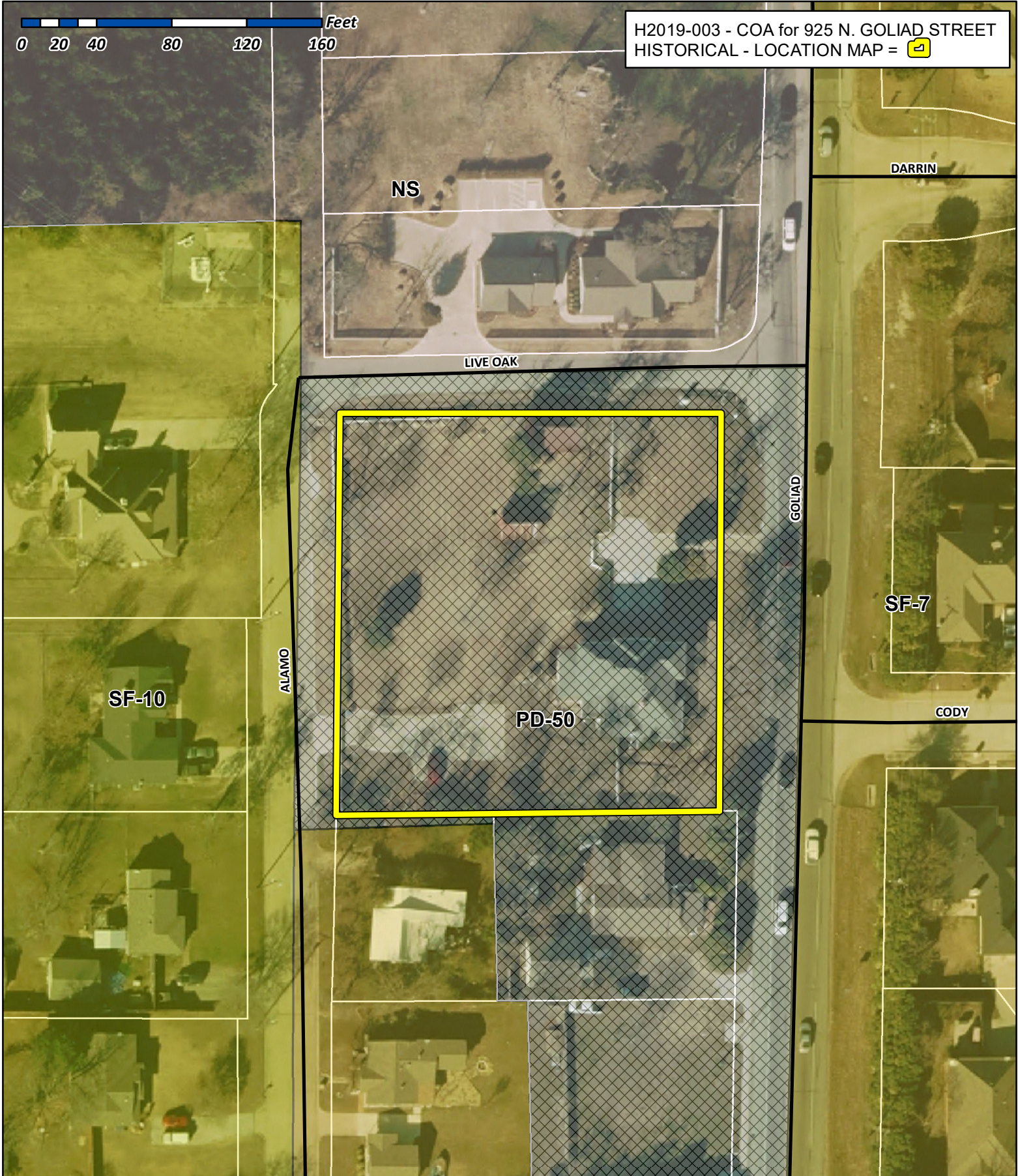
If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

- (1) The developer shall plant a thick vegetative screening utilizing a combination of accent trees, bushes and/or grasses adjacent to the ramp and the south property line; and
- (2) The developer shall submit a revised landscape plan showing the location and landscape materials proposed for the landscape screening adjacent to the ramp and south property line; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





H2019-003 - COA for 925 N. GOLIAD STREET  
HISTORICAL - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**CARI FOOTE, M.A., LPC, LMFT & Associates, PLLC**

PO Box 1731  
Marble Falls, TX 78654  
O: 830-693-0530  
C: 830-798-5884  
F: 830-637-7438

203 S. Fannin Street  
Rockwall, TX 75087  
[cfoote@professionalcounseling.us](mailto:cfoote@professionalcounseling.us)

606 Avenue J  
Marble Falls, TX 78654  
[www.professionalcounseling.us](http://www.professionalcounseling.us)

4-5-19

City of Rockwall  
Historical Preservation Advisory Board &  
Planning & Zoning Board

Re: 925 N. Goliad, Rockwall, TX 75087

To Whom It May Concern:

I am currently under contract to purchase the Landmark Property known as the Cade House at 925 N. Goliad. It is currently used as residential property. The zoning is Commercial – Residential Office. I plan to convert the use to professional office use.

There will be no changes to the exterior other than –

- Adding a white metal handrail down the middle of the front steps
- Adding a black metal handrail down the middle of both sides of the rear steps
- Removing the concrete drive and parking in front and replacing with sod
- Adding parking in back and widening the back drive as indicated in site plan
- Adding Pampas grass along the south fence line to function as photometric screening grass to match the existing pampas grass at the back gate
- Building a handicap access from back parking with a sidewalk and raised sidewalk as needed due to grading. Sidewalk will enter the side of the front porch and the current side stairs. At the entrance to the stairs the existing architectural features the border the existing stairs will border the ramp and any needed rails along the walkway will be white vinyl rails that look like wood and match the exterior of the building.

There will be no interior changes other than to make the down stairs bath accessible and adding handrails to the stairs and doors to the dining room.

The submitted site plan includes photometric requirements, treescape plan (no changes needed to current trees), and elevations and site plan indicates existing landscaping. There will be no change other than adding sod to the area of removed concrete. Sidewalk along Alamo will be completed. Sidewalks along Live Oak and Goliad will be escrowed.

The amount of added paving is:

2000 SF of added drive paving  
333 SF of added sidewalk/ramp paving  
2333 SF Total Added

The amount of removed paving is: 2306 SF of removed front paving

Sincerely,

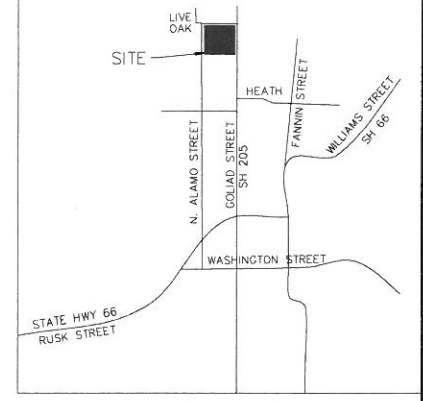
Cari Foote



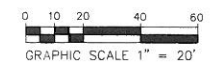
04/03/2019



ERIC L. DAVIS ENGINEERING, INC.  
 F-3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ercdavis@eldengineering.com



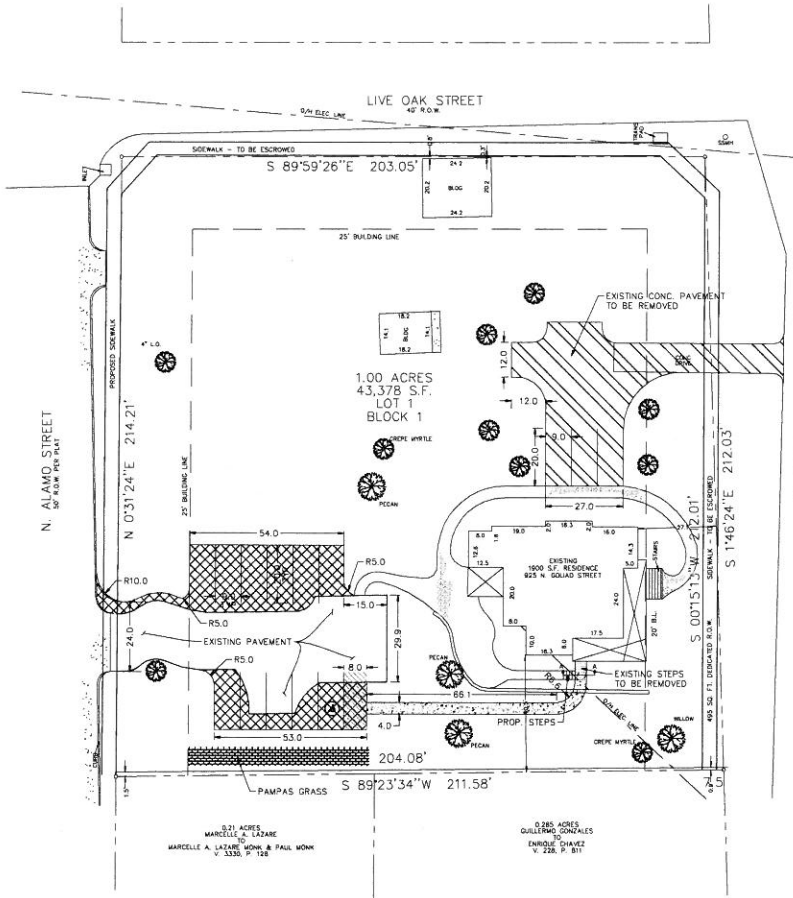
VICINITY MAP  
N.T.S.



**DEVELOPMENT SYNOPSIS**

ZONING: PD 50  
 PROPOSED USE: OFFICE  
 PROPERTY AREA: 43,378 SF, 1.00 AC  
 BUILDING AREA: 1,900 SF  
 EX. PAVEMENT AREA: 4935 SF  
 PR. PAVEMENT AREA: 4962 SF  
 PARKING REQUIRED: 4 (1 ADA)  
 PARKING PROVIDED: 11 (1 ADA)

- DRIVE PAVEMENT ADDITION 2000 SF
- SIDEWALK PAVEMENT ADDITION 333 SF
- PAVEMENT REMOVAL 2306 SF



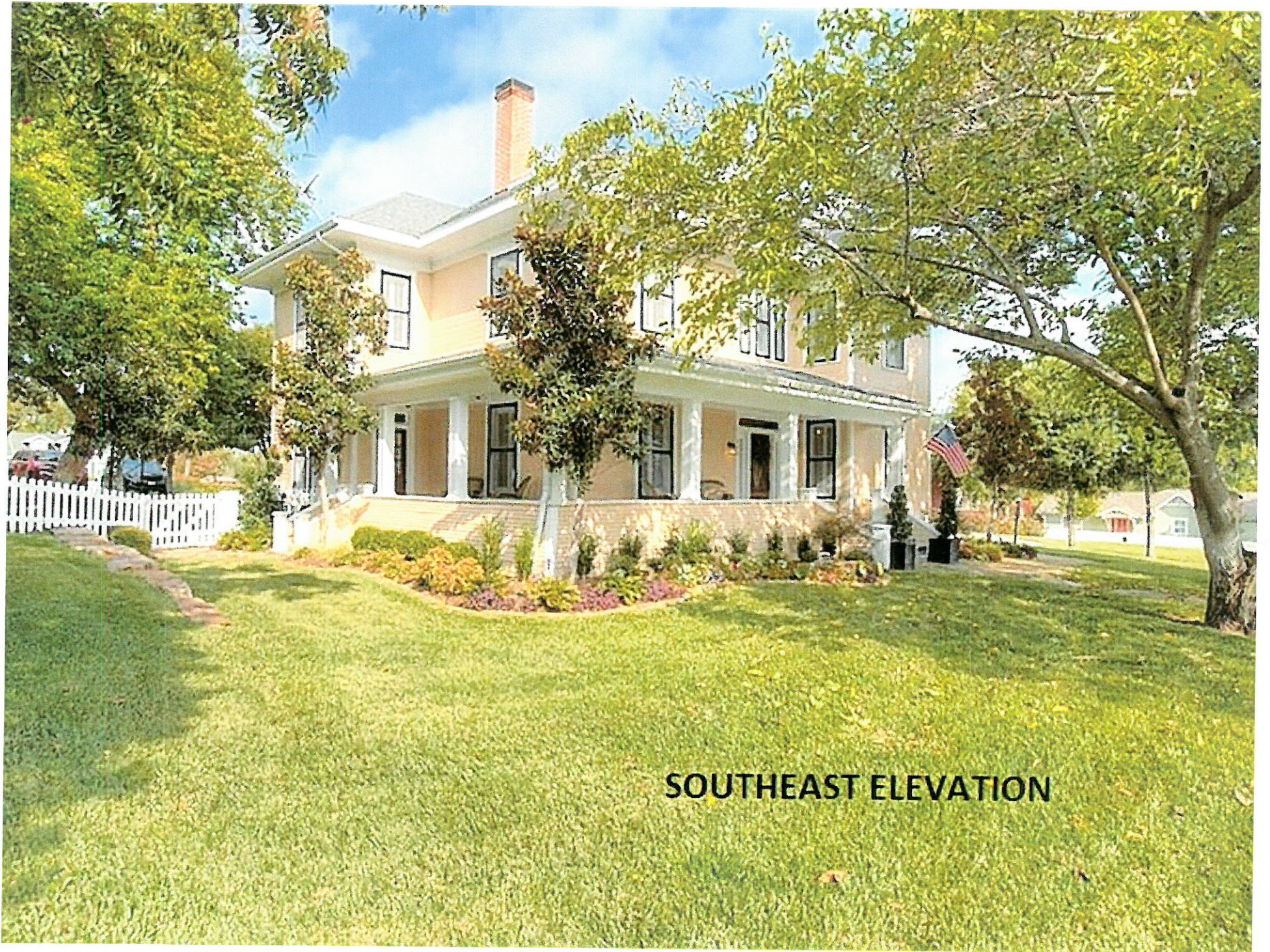
SITE PLAN  
DESIGNATOR  
**CARI FOOTE**

PLANNING: SITE PLAN
ELD JOB NO.: 2069
DRAWN BY: BW
FIRM REGISTRATION #: 3987
BUILDER: CARI FOOTE
ADDITION: ISAAC FENA ADDITION
ADDRESS: 925 N. COLLIAD ST.
LOT: 1 BLOCK: 1
CITY: ROCKWALL, TX

SCALE: 1"=20'

SHEET 01





**SOUTHEAST ELEVATION**





**FRONT ELEVATION  
FACING EAST**





**NORTH ELEVATION**





**NORTHWEST ELEVATION**





**SOUTHWEST ELEVATION**



# CHR

Continuous Handrail  
ALUMINUM



Railings for exterior front and back stairs - will be white



See Assembly 1-2-3 Below

- 1 1-3/8" Handrail
- 2 Internal Connector
- 3 Collar Ring (to cover splice)
- 4 180° Elbow
- 5 Wall Return
- 6 Adjustable Elbow
- 7 Elbows (5°, 31°, 34°, and 36°)
- 90° Elbow



- 8 Inside Corner Mount (attaches to post)
- 9 Internal End Cap
- 10 Wall Mount
- Extended Wall Mount
- Wall-End Mount
- 90° Welded Elbow



diggerspecialties.com



## Advantages:

- ADA Complaint
- Easy to install on any surface including existing railing and walls
- A variety of handrail lengths and accessories allow for a customized handrail
- Available in 12 Standard AAMA 2604 Powder Coated Colors
- Custom colors and AAMA 2605 Colors available
- Lifetime Limited Warranty



## Aluminum Continuous Handrail Colors



Satin Black



Black Fine Texture



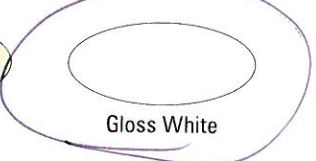
Ninety Bronze



Bronze Fine Texture



Gloss Beige



Gloss White



White Fine Texture



Clay



Speckled Walnut



Sandy Shore



Chocolate



Silver

AAMA 2605 and Custom AAMA 2604 colors are available.


Colors shown are a close representation of the true color. Please consult actual samples for accurate powder coating colors.





**RAILING FOR HANDICAP  
RAILING IF NEEDED**



A photograph of a clump of Pampas grass. The grass has long, thin, green blades that arch outwards. Several tall, upright stems rise from the clump, each topped with a large, fluffy, yellow flower head. The background is a dense, dark green hedge or wall of shrubs. The lighting is bright, highlighting the texture of the grass and the color of the flowers.

**Pampas Grass for Photometric  
Screening Along South Fence  
at Parking**

© American Meadows



**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**June 20, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**CONSENT AGENDA**

1. **Approval of Minutes** for the April 18, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

2. **H2019-006 (David)**

Hold a public hearing to discuss and consider a request by Price Pointer of TCB Construction Group LLC for a Certificate of Appropriateness (COA) for improvements to a *Medium Contributing Property* being a 0.23-acre parcel of land, identified as Block 20B, Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

**DISCUSSION ITEMS**

3. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 14<sup>th</sup> day of June 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**September 19, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. **Approval of Minutes** for the June 20, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

**2. H2019-014 (David)**

Hold a public hearing to discuss and consider a request by Rob and Christie Gates for the approval of a *Certificate of Appropriateness* (COA) allowing the replacement of a roof on an accessory structure that is situated on a *High-Contributing* property being a 1.503-acre parcel of land, identified as Block 98D, B F Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 7 (SF-7) District land uses, situated within the Old Town Rockwall (OTR) Historic District, addressed as 104 South Clark Street, and take any action necessary.

**3. H2019-015 (David)**

Hold a public hearing to discuss and consider a request by Rob and Christie Gates for the approval of a *Building Permit Fee Waiver* for the replacement of a roof on an accessory structure that is situated on a *High-Contributing* property being a 1.503-acre parcel of land, identified as Block 98D, B F Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 7 (SF-7) District land uses, situated within the Old Town Rockwall (OTR) Historic District, addressed as 104 South Clark Street, and take any action necessary.

**4. H2019-016 (David)**

Hold a public hearing to discuss and consider a request by Rob and Christie Gates for the approval of a *Small Neighborhood Matching Grant* for the replacement of a roof on an accessory structure that is situated on a *High-Contributing* property being a 1.503-acre parcel of land, identified as Block 98D, B F Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 7 (SF-7) District land uses, situated within the Old Town Rockwall (OTR) Historic District, addressed as 104 South Clark Street, and take any action necessary.

**DISCUSSION ITEMS**

5. Update from Historic Preservation Officer (HPO) regarding historic projects. (Ryan)

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, David Gonzales, Planning and Zoning Manager of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 14<sup>th</sup> day of June 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**October 17, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. **Approval of Minutes** for the September 19, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

**2. H2019-011 (Korey)**

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness (COA) for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

**3. H2019-012 (Korey)**

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

**4. H2019-013 (Korey)**

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Small Matching Grant for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

**DISCUSSION ITEMS**

5. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 11<sup>th</sup> day of October 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**November 21, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. **Approval of Minutes** for the October 17, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

2. **H2019-017 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) for exterior modifications to a Non-Contributing Property identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 N. Clark Street, and take any action necessary.
3. **H2019-018 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a Non-Contributing Property being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

**DISCUSSION ITEMS**

4. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 18<sup>th</sup> day of November 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**December 19, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. **Approval of Minutes** for the October 17, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

2. **H2019-017 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) for exterior modifications to a Non-Contributing Property identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 N. Clark Street, and take any action necessary.
3. **H2019-018 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a Non-Contributing Property being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.
4. **H2019-019 (Korey)**  
Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a Certificate of Appropriateness (COA) for the construction of a new office building on a 0.4590-acre Non-Contributing Property identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

**DISCUSSION ITEMS**

5. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 13<sup>th</sup> day of December 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



**MINUTES**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**October 17, 2019**  
**6:00 P.M.**

I. CALL TO ORDER

The meeting was called to order by Chairman Nichols at 6:03 p.m. Board members present were Dick Clark, Carolyn Francisco, Jay Odom, Mike Mishler, Beverly Bowlin and Maurice Thompson. Staff members present were Planning Director, Ryan Miller, Planning Manager David Gonzales and Planning Coordinator, Laura Morales.

II. OPEN FORUM

Chairman Nichols explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward to speak Chairman Nichols closed the open forum.

III. CONSENT AGENDA

1. Approval of Minutes for the September 19, 2019 Historic Preservation Advisory Board (HPAB) meeting.

Board member Francisco made a motion to approve the consent agenda. Board member Thompson seconded the motion which passed by a vote of 7-0.

IV. PUBLIC HEARING ITEMS

2. H2019-011

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness (COA) for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request. Michael Cheatham of WillowCreek Custom Homes is bringing a request forward on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness for exterior modifications to a High Contributing Property requesting approval of a Certificate of Appropriateness in conjunction with a building permit fee waiver and a small neighborhood matching grant to allow the expansion of a single-family home by adding a garage and breezeway. The subject property was annexed prior to 1959, zoned Single-Family 7 District, and is situated within the Historic Overlay District. The subject property is recognized as a High Contributing Property, which indicates the property retains a high degree of architectural and physical integrity and possesses strong associations concerning the structure's historic context. The home is approximately 2,447 square feet and based on the 2017 Historic Resources Survey the main area was considered to have been constructed in the Folk Victorian style in 1905. On June 16, 2016, the Historic Preservation Advisory Board approved a Certificate of Appropriateness to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a Reconsideration of Contributing Status request after reviewing the progress of the renovation and recognizing that the High Contributing designation may no longer be appropriate for the property. Following a review, the Historic Preservation Advisory Board passed a motion to allow the subject property to maintain its high-contributing designation and on December 20, 2018, the Historic Preservation Advisory Board approved a Certificate of Appropriateness in conjunction with a small neighborhood matching grant and a building permit fee waiver for the replacement of a fence. The applicant is requesting approval of a Certificate of Appropriateness in



60 conjunction with a building permit fee waiver and a small neighborhood matching grant to allow  
61 the expansion of a single-family home by adding a garage and breezeway.

62  
63 Mr. Miller advised the Board that the applicant was present and available for questions as well as  
64 staff.

65  
66 Chairman Nichols opened up the public hearing and asked the applicant to come forward.

67  
68 James Ricketts  
69 401 N. Fannin Street  
70 Rockwall, TX

71  
72 Mr. Ricketts came forward and provided additional comments in reference to the request.

73  
74 Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no  
75 one indicating such, Chairman Nichols closed the public hearing and brought the item back to  
76 the Board for discussion or action.

77  
78 After brief discussion, Board member Clark made a motion to approve H2019-011 with staff  
79 recommendations. Board member Francisco seconded the motion which passed by a vote of 7-  
80 0.

81  
82 3. H2019-012

83 Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom  
84 Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior  
85 modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition,  
86 City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N.  
87 Fannin Street, and take any action necessary.

88  
89 Planning Director, Ryan Miller, provided a brief explanation of the request.

90  
91 Chairman Nichols opened up the public hearing and asked if anyone wished to speak to come  
92 forward and do so, there being no one wishing to do so Chairman Nichols closed the public  
93 hearing and brought the item back to the Board for discussion or action.

94  
95 Chairman Nichols made a motion to approve H2019-012 with staff recommendations. Board  
96 member Thompson seconded the motion which passed by a vote of 7-0.

97  
98 4. H2019-013

99 Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom  
100 Homes on behalf of the owners Jim and Peggy Ricketts for a Small Matching Grant for exterior  
101 modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition,  
102 City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N.  
103 Fannin Street, and take any action necessary.

104  
105 Planning Director, Ryan Miller, provided a brief explanation of the request and indicated both the  
106 applicant and staff would be available for questions.

107  
108 Chairman Nichols opened up the public hearing and asked if anyone wished to speak to come  
109 forward and do so, there being no one indicating such Chairman Nichols closed the public  
110 hearing and brought the item back to the Board for discussion or action.

111  
112 Board member Mishler made a motion to award a \$500 grant to case H2019-013 with staff  
113 recommendations. Board member Clark seconded the motion which passed by a vote of 7-0.

114  
115 V. DISCUSSION ITEMS

116  
117 5. Update from Historic Preservation Officer (HPO) regarding historic projects.

118  
119 Planning Director, Ryan Miller, indicated currently there are no ongoing historic projects.



121 VI. ADJOURNMENT

122

123

Chairman Nichols adjourned the meeting at 6:31 p.m.

124

125

126

127

PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE  
CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2019.

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131

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*DANIEL NICHOLS, CHAIRMAN*

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*ATTEST: LAURA MORALES, PLANNING COORDINATOR*

136

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138

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141

142





# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** November 21, 2019  
**APPLICANT:** Rick Cawthon  
**CASE NUMBER:** H2019-017; *Certificate of Appropriateness (COA)*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding.

### **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) for the purpose of expanding the existing single-family home on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located 205 N. Clark Street. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is W. Interurban Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this, there is one (1) *Non-Contributing* and one (1) *High-Contributing* property. Following this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this there is one (1) *High-Contributing* property, which delineates the northern boundary of the Old Town Rockwall (OTR) Historic District. These areas are zoned Single-Family 7 (SF-7) District.

**South:** Directly south of the subject property, there are several *Non-Contributing* properties followed by E. Kaufman Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this there are three (3) *Non-Contributing* and one (1) *High-Contributing* property. These areas are zoned Single-Family 7 (SF-7) District.

**East:** Directly east of the subject property is N. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Following this there is one (1) *Non-Contributing* and one (1) *High-Contributing* property that delineates the eastern boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.



West: Directly west of the subject property, there are several *Non-Contributing* properties followed by the western boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

### **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to add a total of 1,400 SF of living space to the rear of the home. In addition to the expansion to the rear of the home, the applicant is proposing to modify the front of the home by widening the existing front porch, replacing the existing wrought-iron posts with wood posts, and adding a front-facing gable above the porch. According to the applicant, the new roof will match the existing roofs' overhang and fascia. Additionally, the applicant is proposing to remove the existing siding and replace with a new cementitious lap siding.

### **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Subsection 6.03, *Historic Overlay (HO) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), a *Non-Contributing* structure is a building, site, structure, or an object which does not add to the historical architectural qualities, historical associations, or archaeological value for which a property or district is significant. In this case, the subject property is considered to be *Non-Contributing* because the home was constructed in 1980 and was not present during a period of significance. According to Section 6.2.G, *Standards of Approval*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) the Historic Preservation Advisory Board (HPAB) must approve an application for a Certificate of Appropriateness (COA) if it determines that the application will not adversely affect the character of the adjacent historic properties, and the proposed work is consistent with the regulations contained in the Unified Development Code (UDC). Although the home is not considered to be historic and does not have to adhere to the Historic Preservation Guidelines outlined in the Unified Development Code (UDC), the home is located within 300-feet of a *High Contributing* property (*i.e. 202 N. Clark Street*). As a result, the Historic Preservation Advisory Board (HPAB) is tasked with determining if the addition is compatible with the historic district and will not adversely affect the adjacent *High Contributing* property. In this case, the proposed addition will be located mostly to the rear of the home and only small portions of the expansion will be visible from Clark Street. Additionally, the addition appears to match the design and roofline of the existing home, and if approved the proposed scope of work does not appear to impair the historical integrity of the adjacent historical property; however, approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).


### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



0 10 20 40 60 80 Feet

H2019-017 - 205 N. CLARK STREET  
HISTORICAL - LOCATION MAP = 



INTERURBAN

CLARK

SF-7



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

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10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

[Rickgcawthon@gmail.com](mailto:Rickgcawthon@gmail.com)

214-726-5559

To whom it may concern at the City of Rockwall.

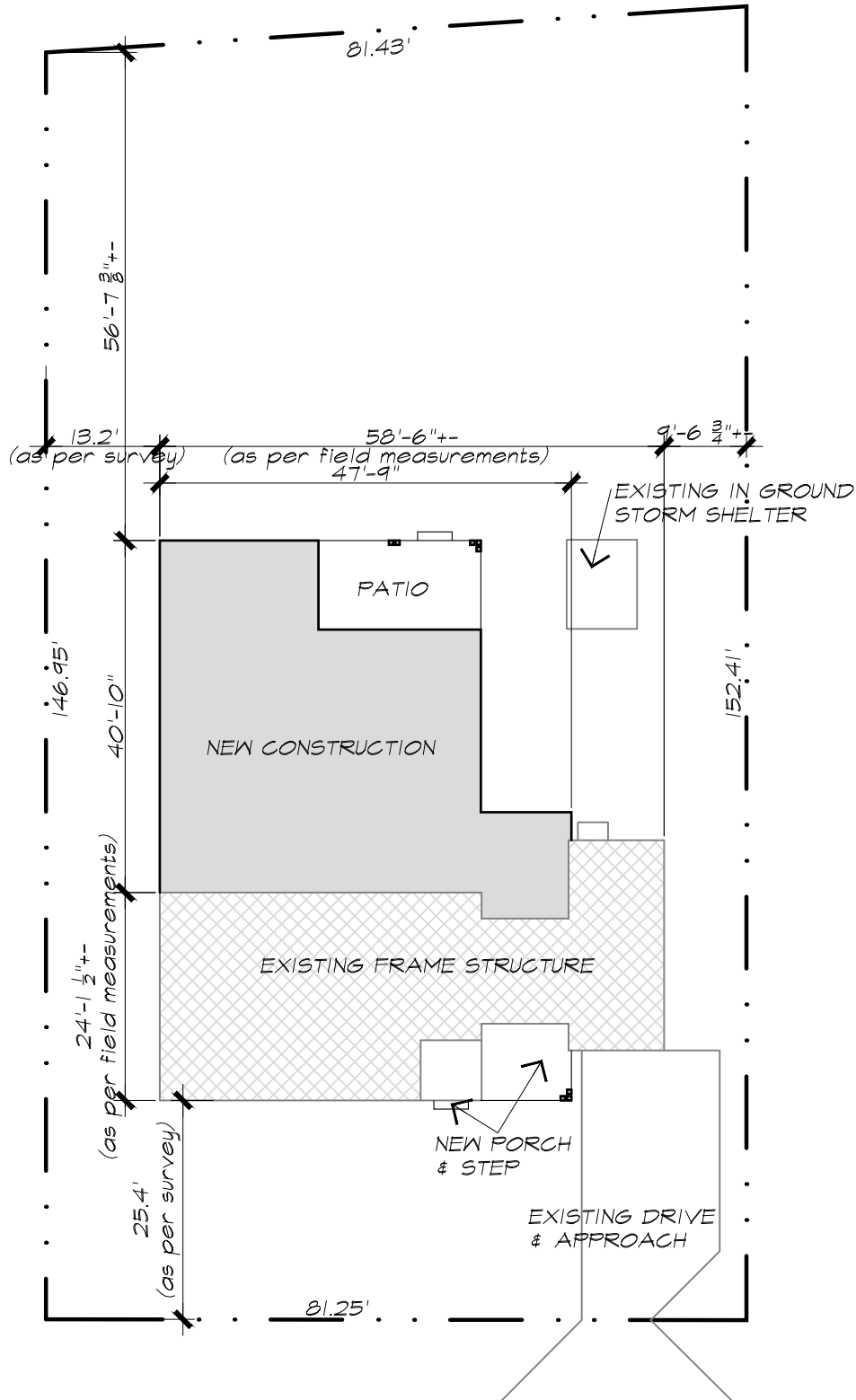
We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette





205 N. CLARK ST.

LOT AREA = 12,161.73 SF  
 LOT COVERAGE = 24.8%

PLAN # C 2431  
 DATE: 10/17/2019

# SITE PLAN

SCALE: 1" = 20'-0"

*M. Rouse Designs*

2307 HIGH RIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
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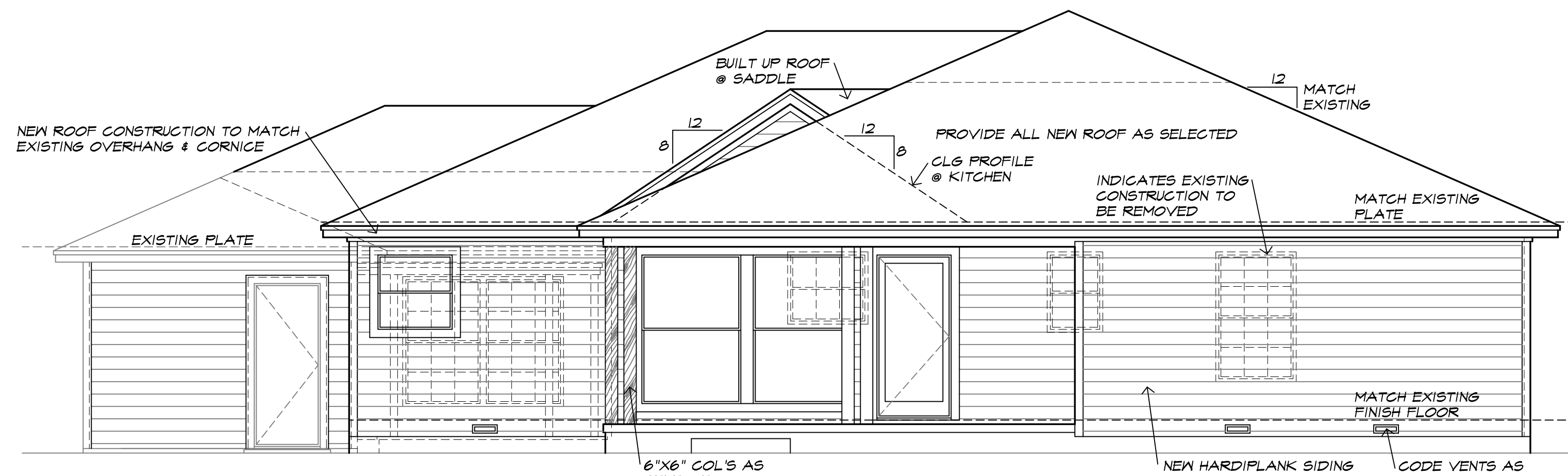
PART OF BLOCK 22

THE FARMERS AND MERCHANTS NATION BANK ADDITION

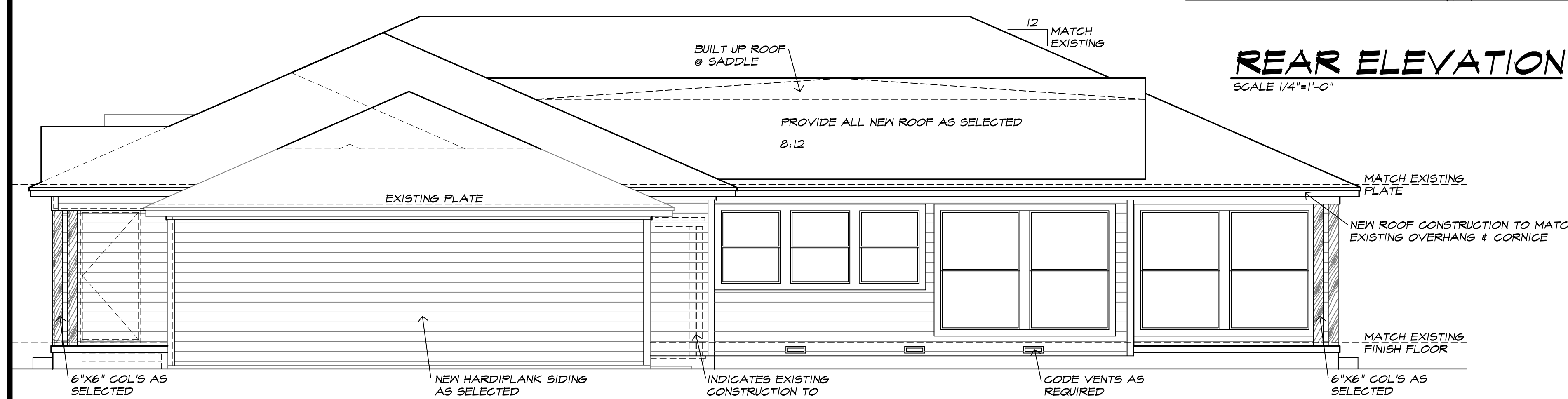
ROCKWALL, TEXAS

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.

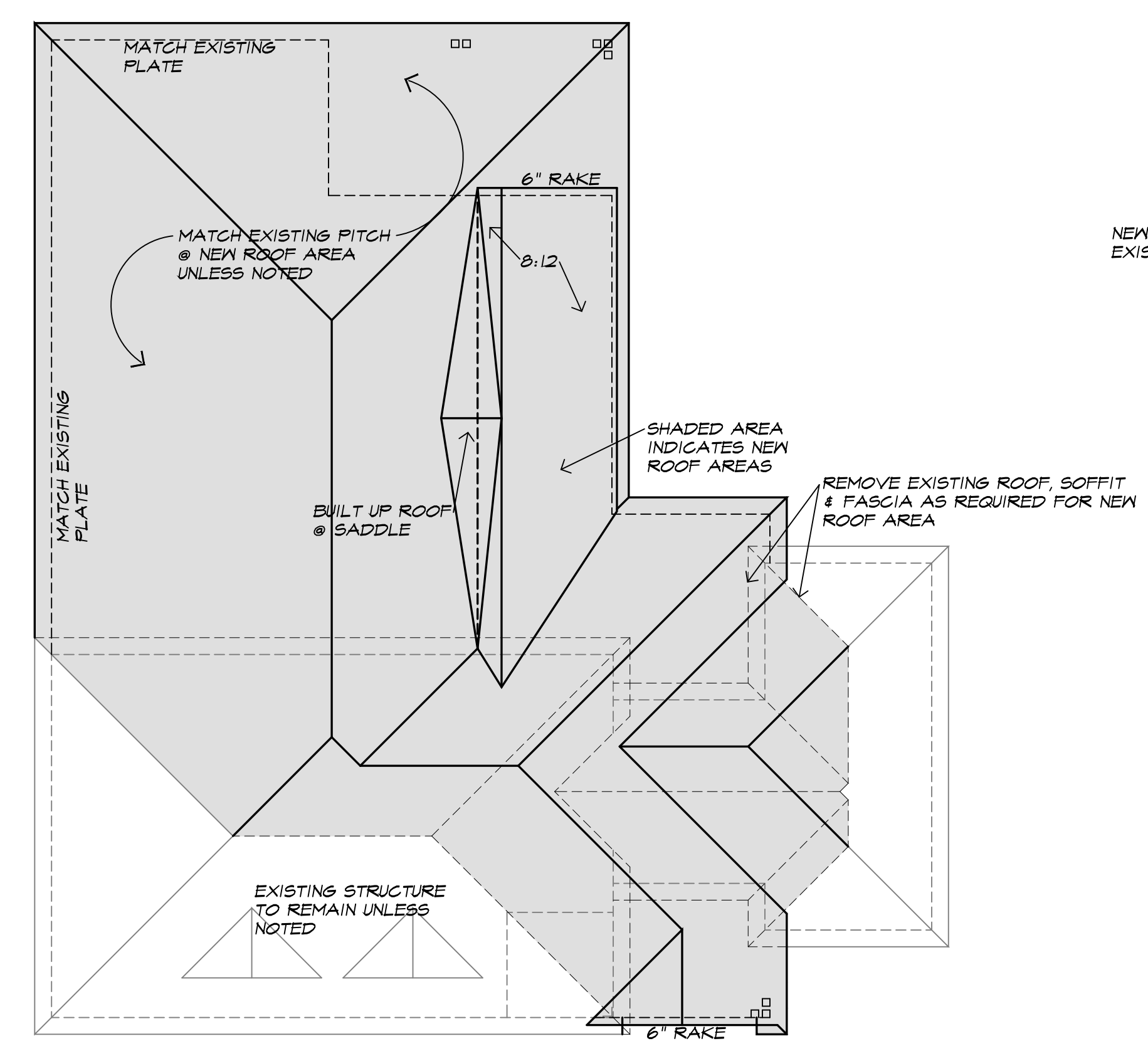




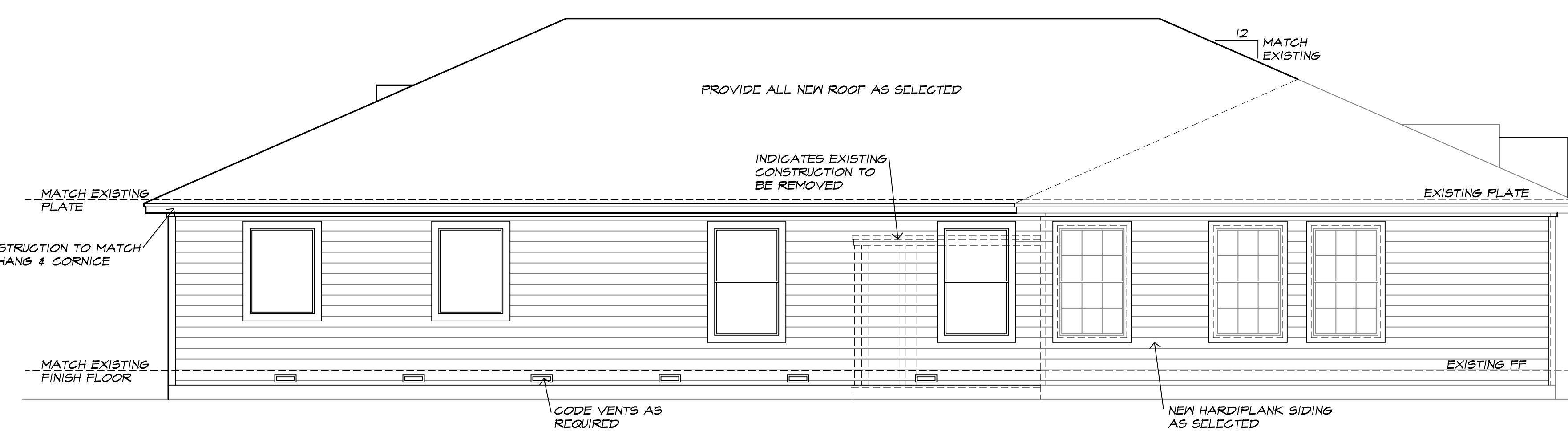
**REAR ELEVATION**  
SCALE 1/4"=1'-0"



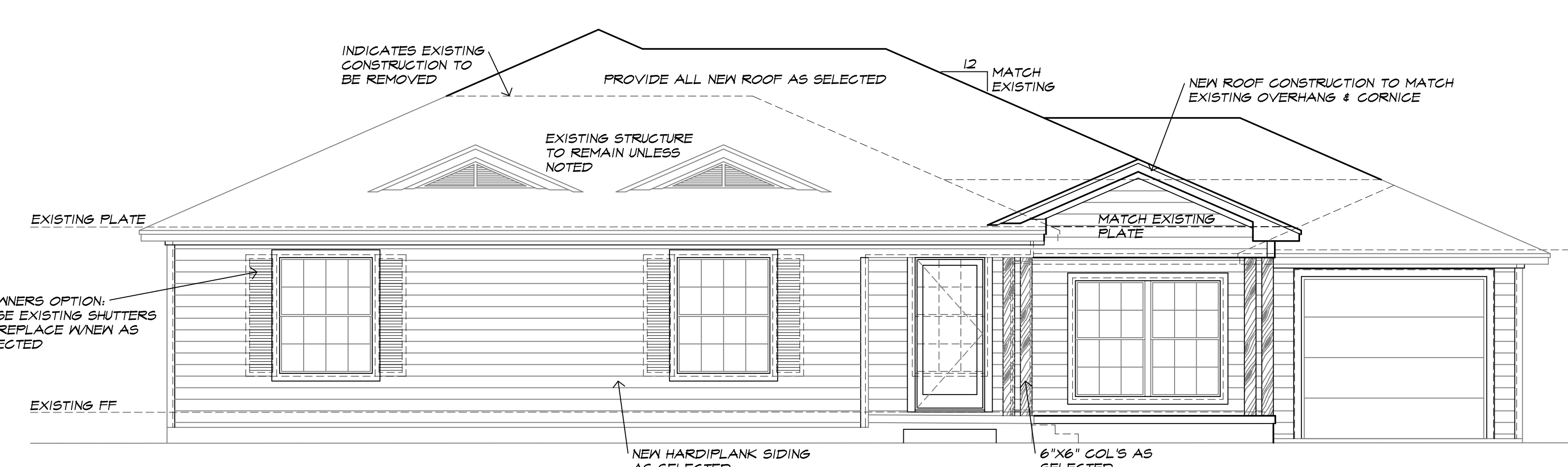
**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**ROOF PLAN**  
SCALE 1/8"=1'-0"  
 \* PROVIDE ALL NEW ROOF AS SELECTED  
 \* PROVIDE CORNICE VENTS AS PER CODE WHERE APPLICABLE  
 \* ROOF VENTILATION AS PER CODE  
 \* MATCH EXISTING PITCH UNLESS NOTED  
 \* NEW ROOF CONSTRUCTION TO MATCH EXISTING OVERHANG & CORNICE



**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall be responsible for any discrepancies, any or all of which may be noted by the contractor. The contractor shall be responsible for the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor are they intended to be a substitute for the contractor's own knowledge, experience, and equipment and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s) hereof, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

**M Rouse Designs**  
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REVISED DATE  
 SHEET A2  
 DESIGN NUMBER C 2431





































# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** November 21, 2019  
**APPLICANT:** Rick Cawthon  
**CASE NUMBER:** H2019-018; *Small Matching Grant*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding. The applicant is requesting a small matching grant in conjunction with a request for a Certificate of Appropriateness (COA) [*Case No. H2019-017*] to allow exterior modifications to a single-family home on the subject property.

### **CONFORMANCE TO THE SMALL MATCHING GRANTS REQUIREMENTS**

According to Section 8, *Small Matching Grants*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), residential properties located within the Old Town Rockwall (OTR) Historic or the Southside Residential Neighborhood Overlay (SRO) District are eligible for matching funds of 50% of the total project. The maximum grant amount for a *Non-Contributing Property* is \$500.00 and the project must include improvements that are visible from the street. In this case, the subject property is located within the Old Town Rockwall (OTR) District and is classified as a *High Contributing Property*. The project includes improvements that will be visible from the street (*i.e. an addition to the home*) and based on the applicant's scope of work, the property is eligible for matching funds. Based on the scope of work and the total valuation of \$110,000.00, the replacement of the cementitious lap siding qualifies for a small matching grant of up to \$500.00; however, approval of this request is discretionary for the Historic Preservation Advisory Board (HPAB).

As of November 18, 2019, the Historic Preservation Advisory Board (HPAB) has approved one (1) small matching grants for FY2019. Should this request be approved, the Small Matching Grants Fund would be reduced to \$3,500.


### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Small Matching Grant, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



0 12.5 25 50 75 100 Feet

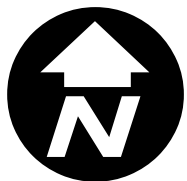
H2019-018 - 205 N. CLARK STREET  
HISTORICAL - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

[Rickgcawthon@gmail.com](mailto:Rickgcawthon@gmail.com)

214-726-5559

To whom it may concern at the City of Rockwall.

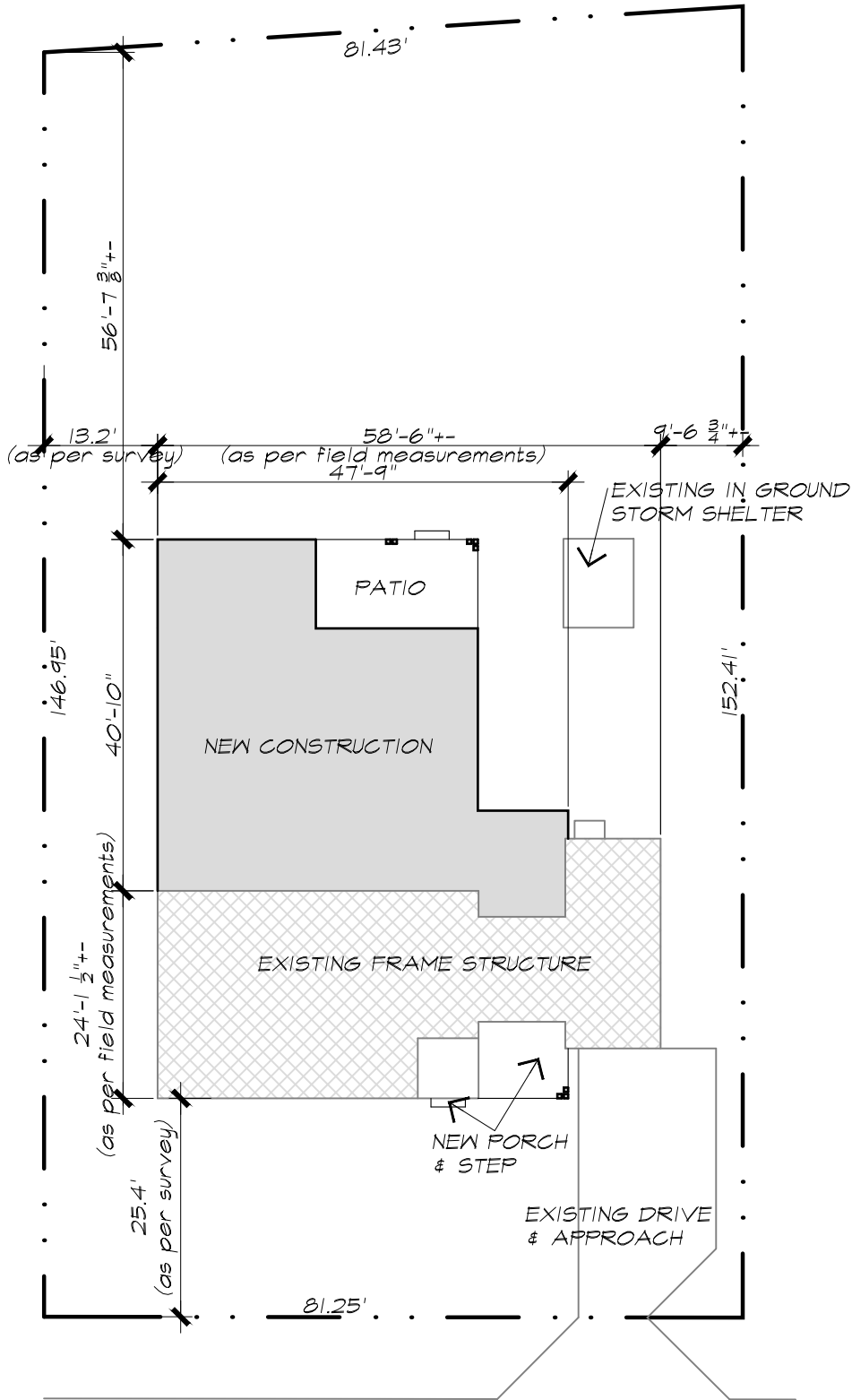
We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette





205 N. CLARK ST.

LOT AREA = 12,161.73 SF  
 LOT COVERAGE = 24.8%

PLAN # C 2431  
 DATE: 10/17/2019

# SITE PLAN

SCALE: 1" = 20'-0"

*M. Rouse Designs*

2307 HIGH RIDGE  
 SACHSE, TEXAS 75048

(214) 801-9944

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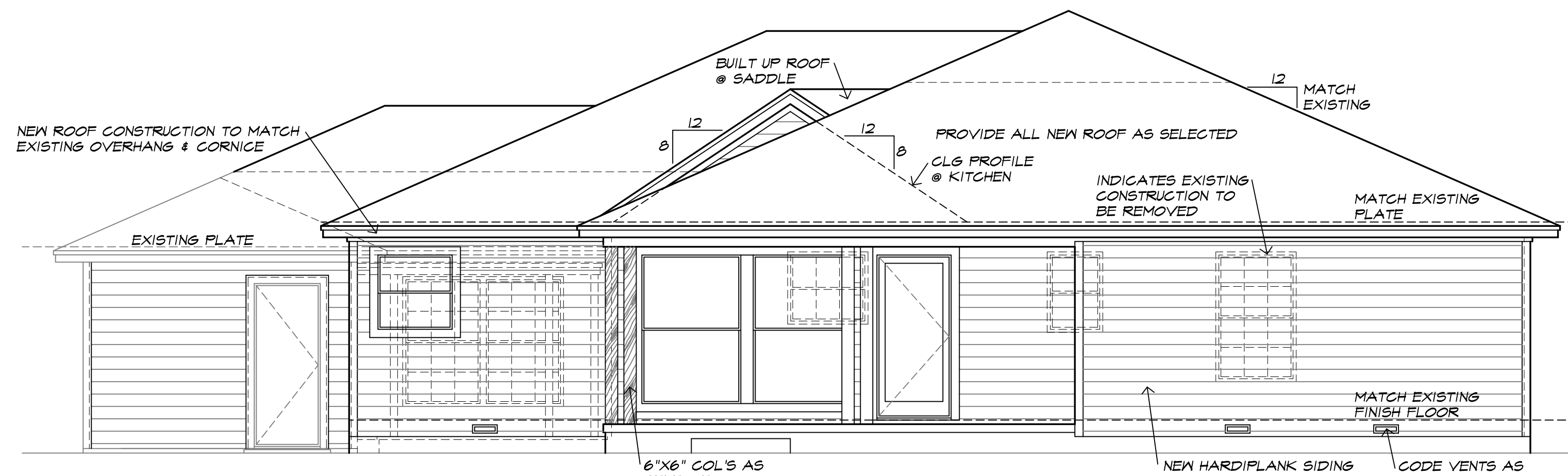
PART OF BLOCK 22

THE FARMERS AND MERCHANTS NATION BANK ADDITION

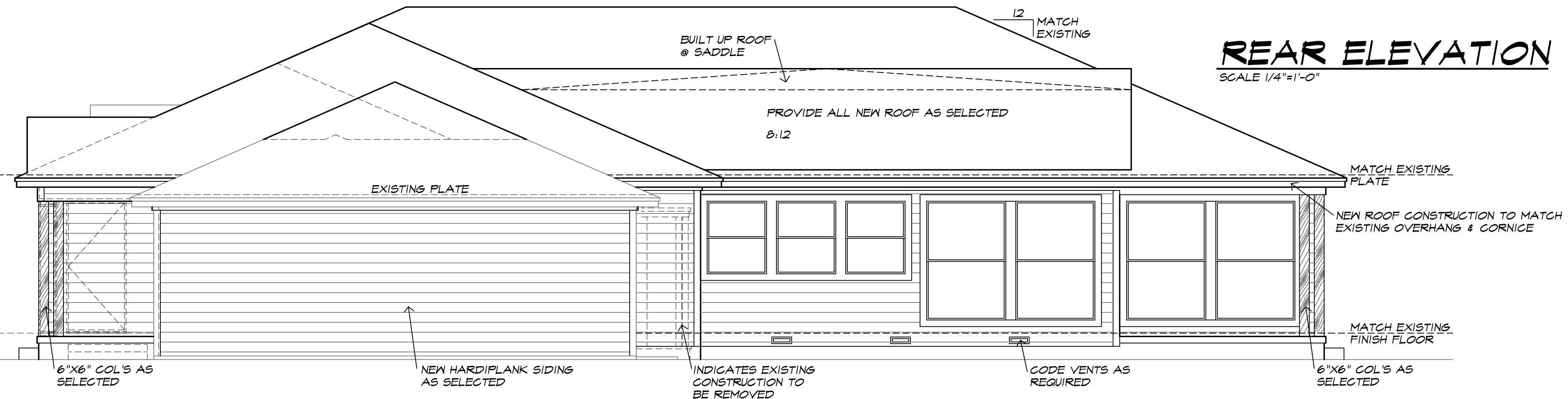
ROCKWALL, TEXAS

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.

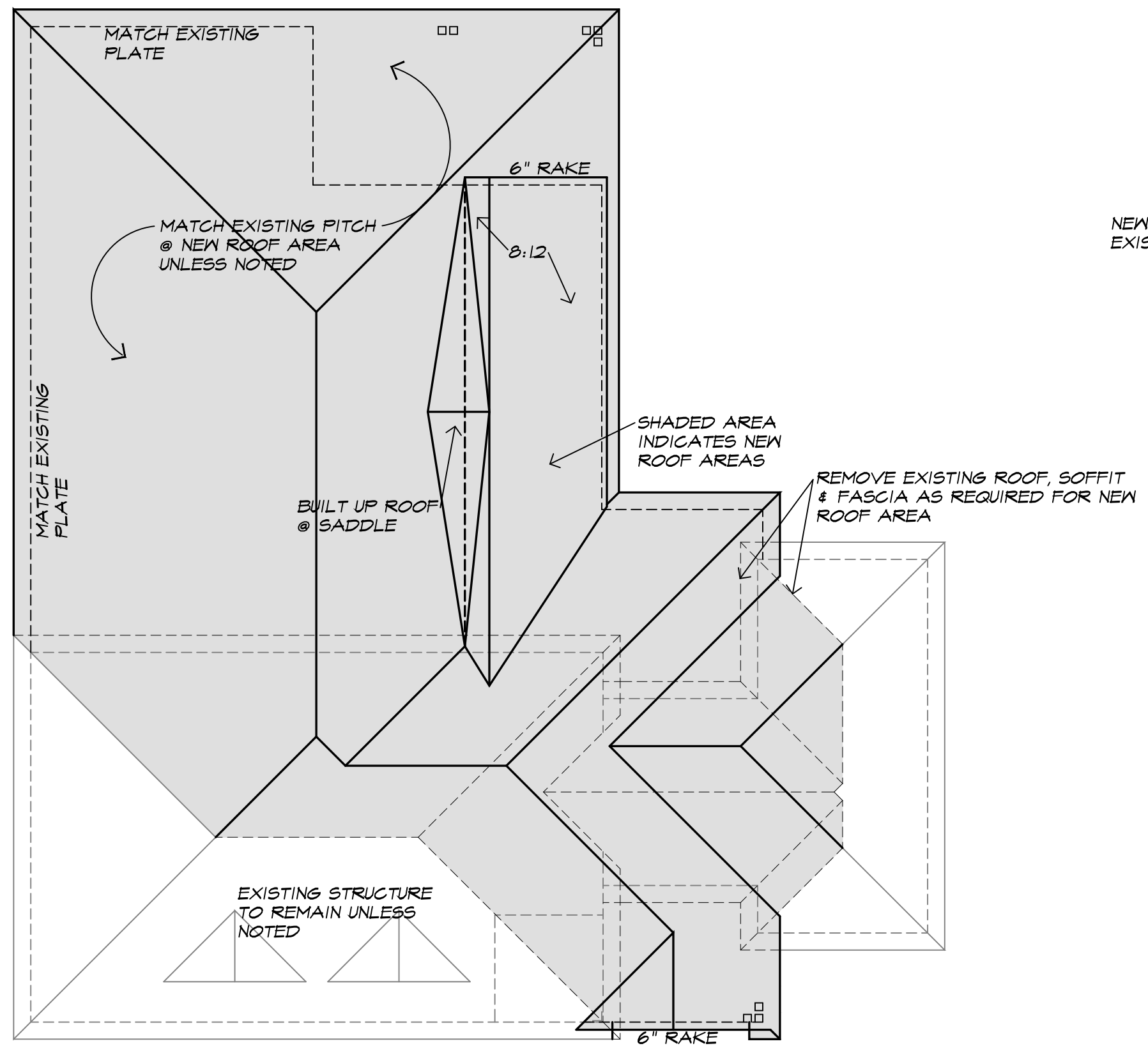




**REAR ELEVATION**  
SCALE 1/4"=1'-0"

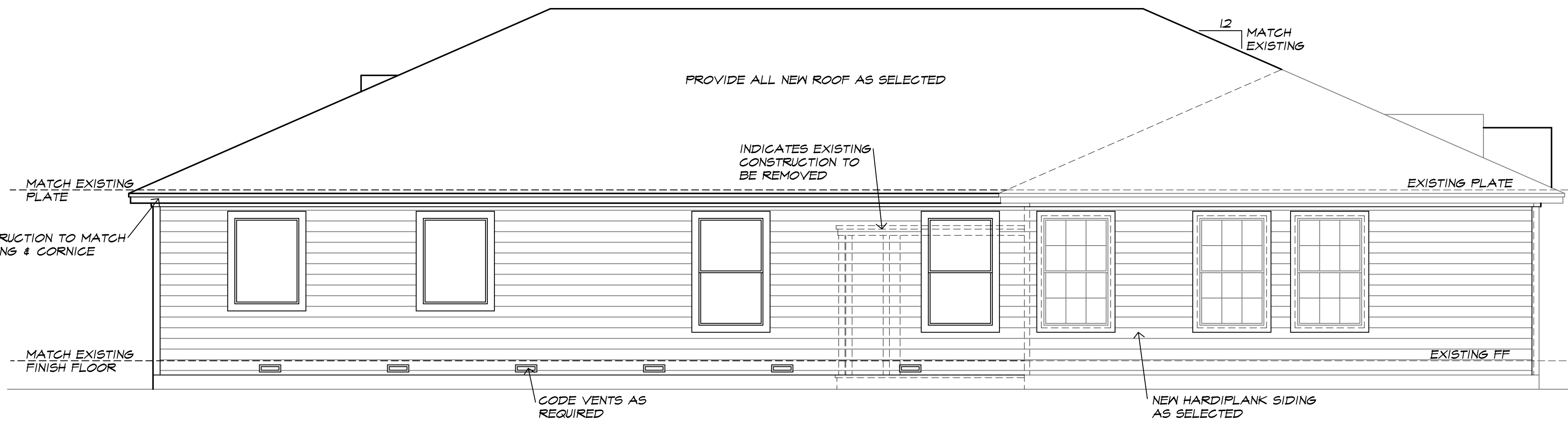


**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"

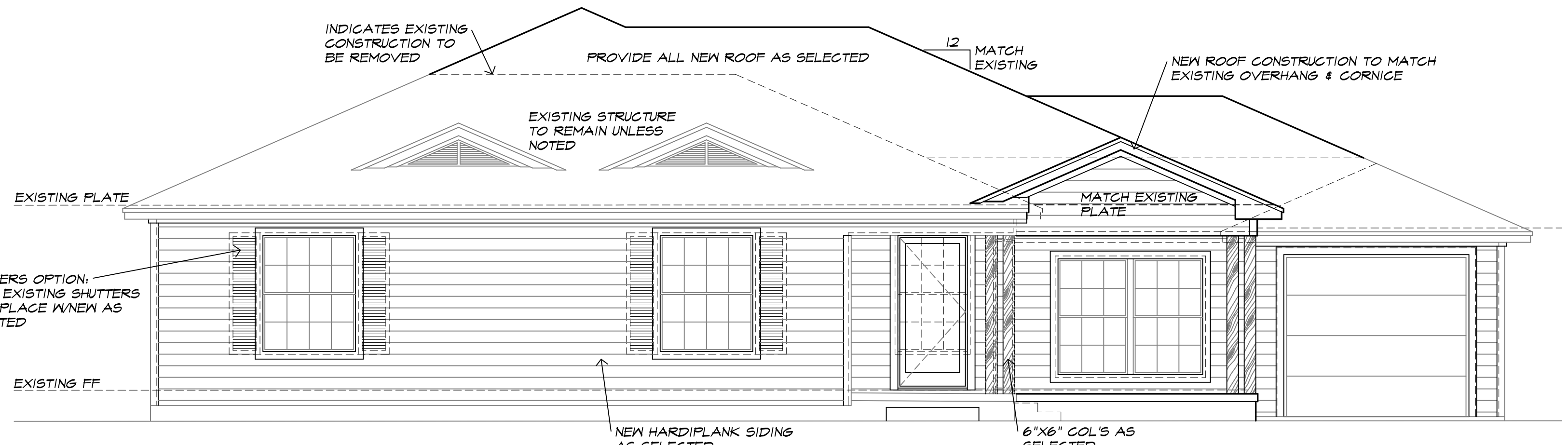


**ROOF PLAN**

- SCALE 1/8"=1'-0"
- \* PROVIDE ALL NEW ROOF AS SELECTED
  - \* PROVIDE CORNICE VENTS AS PER CODE WHERE APPLICABLE
  - \* ROOF VENTILATION AS PER CODE
  - \* MATCH EXISTING PITCH UNLESS NOTED
  - \* NEW ROOF CONSTRUCTION TO MATCH EXISTING OVERHANG & CORNICE



**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall the contractor be held responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of member(s) work, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

**M Rouse Designs**

2307 HIGHLIDGE  
SACHSE, TEXAS 75048  
(214) 801-9944  
mrouse designs.com

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REVISED DATE

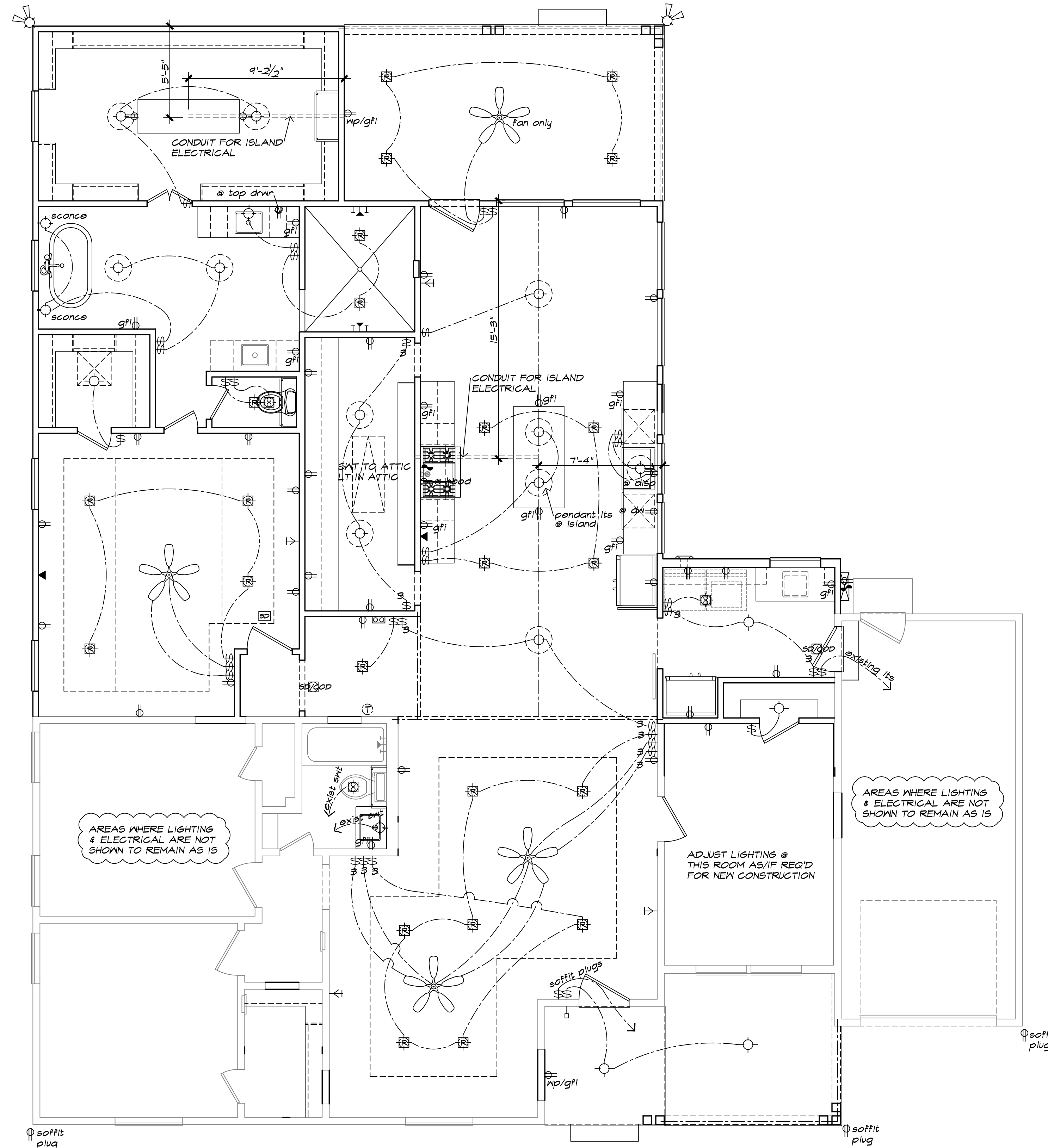
SHEET  
A2

DESIGN NUMBER  
C 2431









**LIGHTING & ELECTRICAL PLAN**

SCALE 1/4"=1'-0"  
 NOTE:  
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR &  
 EXTERIOR LIGHTING & ELECTRICAL AS PER OWNER

**LIGHTING & ELECTRICAL LEGEND**

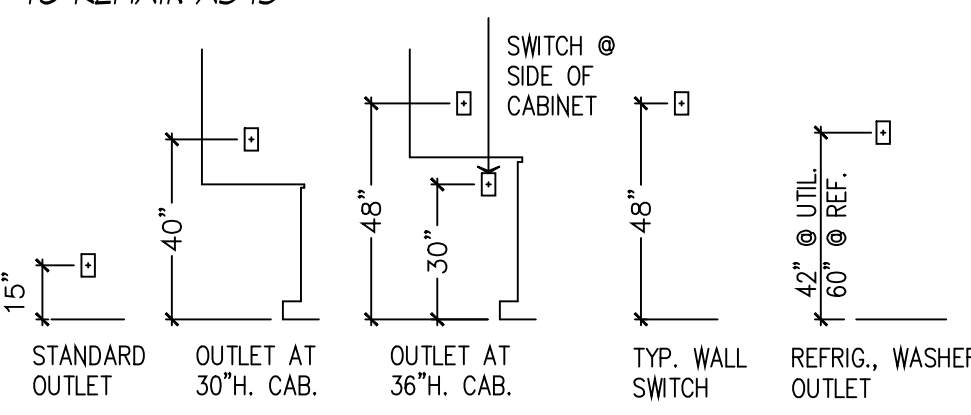
- ▼ LANDLINE - OPTIONAL
- ⊕ SWITCH
- ⊕ 6"Ø RECESSED LIGHT UNLESS NOTED
- ⊕ SURFACE MOUNT LIGHT
- ⊕ RECESSED EXHAUST FAN
- ⊕ SURFACE MOUNTED WALL LIGHT
- ⊕ HANGING LIGHT
- ⊕ DUPLEX RECEPTACLE
- ⊕ 220 RECEPTACLE
- ⊕ DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
- ⊕ DUPLEX GROUND FAULT INTERRUPTER
- ⊕ TV OUTLET (CAT 5e)
- ⊕ SMOKE DETECTOR
- ⊕ DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
- ⊕ CEILING FAN W/LIGHT KIT UNLESS NOTED
- ⊕ SMOKE/CARBON MONOXIDE DETECTOR
- ⊕ THERMOSTAT
- ⊕ PUSH BUTTON TO CHIME
- ⊕ CHIME

NOTE  
 ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER BUILDER

**ELECTRICAL NOTES**  
 (where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

- NOTE:
- \* RELOCATE, REMOVE &/OR REMARK ALL EXISTING LIGHTING & ELECTRICAL AS REQUIRED FOR DEMOLITION & NEW CONSTRUCTION
  - \* ALL LIGHTING & ELECTRICAL NOT SHOWN IS EXISTING & TO REMAIN AS IS



**ELECTRICAL OUTLET LOCATIONS**  
 (where applicable)

**A RENOVATION FOR  
 205 N. CLARK  
 ROCKWALL, TEXAS**

**M Rouse Designs**  
 2307 HIGHRIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
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REVISED DATE

SHEET  
 AB

DESIGN NUMBER  
 C 2431

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall make adjustments to any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall be held responsible for the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor are they intended to be a substitute for the professional engineering services of a licensed professional engineer. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any structure, including but not limited to, foundation, retaining walls, and other structural members. The contractor shall be held responsible for the stability of any structure. The contractor shall be held responsible for the stability of any structure. The contractor shall be held responsible for the stability of any structure.





























# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** December 19, 2019  
**APPLICANT:** Ryan Miller, *Director of Planning and Zoning*  
**CASE NUMBER:** H2019-019; *COA for 810 N. Goliad Street*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a Certificate of Appropriateness (COA) for the construction of a new office building on a 0.4590-acre *Non-Contributing Property* identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property is located within the B. F. Boydston Addition and was incorporated into the City of Rockwall in the early 1900's. According to the City's Historic zoning maps, the subject property was zoned Single Family 3 (SF-3) District from at least January 3, 1972 to November 5, 2001 when Planned Development District 50 (PD-50) was established by the City Council. Planned Development District 50 (PD-50) allows all land uses permitted within a Residential-Office (RO) District with special provisions. Staff has not found any permits, pictures, maps or aerial photography indicating that anything has ever been built on the property, and the property remains vacant today.

### **PURPOSE**

The applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- is requesting a Certificate of Appropriateness (COA) for the purpose of constructing a 4,987 SF office building.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 810 N. Goliad Street. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is a 0.4380-acre vacant tract of land addressed as 812 N. Goliad Street. North of this property is Heath Street, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is one (1) *Medium Contributing Property* (*i.e. ServiceFirst Mortgage*) and two (2) *Non-Contributing Properties* (*i.e. My Sister's Closet and TCB Construction Offices*). Beyond these properties are two (2) *Landmarked Properties* (*i.e. the Austin-Stacey Home and the Reese Home*). All of the property in this area is zoned Planned Development District 50 (PD-50).

**South:** Directly south of the subject property are two (2) single-family homes (*i.e. Lot 9 of the Barnes Addition and Lot B, Block 124 B. F. Boydston Addition*). South of this is a vacant tract of land (*i.e. Lot 8 of the Barnes Addition*) followed by a Hair Salon (*i.e. Mirror-Mirror Hair Studio*). All of these properties are zoned Planned Development District 50 (PD-50).



East: Directly east of the subject property is an ~6.50-acre tract of land (*i.e. Lots C & E, Block 124, B. F. Boydston Addition*) that is currently occupied with above ground water storage tanks owned by the City of Rockwall. East of this is a 3.46-acre vacant parcel of land followed by N. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. All of these properties are zoned Single Family 7 (SF-7) District.

West: Directly west of the subject property is N. Goliad Street (*i.e. SH-205*), which is identified as a M4U-M (*modified major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is a residential property (*i.e. Lot 2, Block A, Amick Addition*) zoned Planned Development District 50 (PD-50) and the continuation of Heath Street. West of this area is another residential property (*i.e. Lot 1, Block A, Amick Addition*) followed by N. Alamo Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. This property is zoned Single Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to construct a 4,987 SF, two (2) story office building on the subject property. According to Section 6, *Certificates of Appropriateness (COA)*, of Article IX, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) is responsible for reviewing all building permits for exterior alteration, restoration, reconstruction, *new construction*, moving or demolition of a property within a historic district. Planned Development District 50 (PD-50) is an established historic district within the City of Rockwall, and as a result the Historic Preservation Advisory Board (HPAB) will be required to review the proposed site plan and make recommendations concerning the site plan's compliance to the City's historic guidelines to the Planning and Zoning Commission. In addition, the board will be acting on a request for a Certificate of Appropriateness (COA) concerning the proposed building elevations' conformance to the Historic Design Guidelines contained in the Unified Development Code (UDC) and the proposed projects' impact on adjacent historic properties.

According to Section 6.04, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all development within the NGC OV is required to mimic one (1) of the following styles: [1] Bungalow, [2] Cottage, [3] Craftsman, [4] Folk Victorian, or [5] Queen Anne. In this case, the building elevations submitted by the applicant are drawn to conform to the Craftsman style, which is described as being, "an extension of the early bungalow [style], the craftsman design included a low-pitched gabled roof with a wide, unenclosed eave overhang ... Roof rafters are usually exposed and decorative beams or braces are commonly added under gables ... Porches are either full or partial-width, with a roof often supported by tapered square columns ... The most distinctive features of this are the junctions where the roof joins the wall, where the most ornamentation occurs."

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

The proposed office building conforms to the guidelines contained in Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC) as follows:

- (1) *Height*. The guidelines stipulate that new buildings be constructed to a similar residential scale as adjacent properties. In this case, the building is 33-feet in height, which is in conformance with the 36-foot height limitation for the Residential-Office (RO) District.
- (2) *Building Setback and Orientation*. The guidelines refer to new buildings being built utilizing similar setbacks and orientations as existing buildings. In addition, the guidelines state that new structures should be constructed so that new buildings maintain the *pier-and-beam* appearance. The proposed structure does maintain a *pier-and-beam* appearance by incorporating a brick wainscot along the bottom; however, the building is oriented to the side yard. Staff has



recommended to the applicant that a front entry, stoop, and deck be incorporated in the design on the front of the building to create a product that appears to be oriented toward the front of the property (*i.e. fronting the building onto S. Goliad Street*). Staff should note that no other property in Planned Development District 50 (PD-50) is oriented to the side yard like what is being proposed by the applicant.

- (3) *Building Facades and Materials*. The building elevations for the office building are proposing to utilize a mixture of Hardie Board lap-siding, Hardie Board in a *board-and-batten* pattern, and brick. All of these materials and installations can be seen within the existing district.
- (4) *Roofs*. The guidelines state that the “(r)ooof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District ... (r)ooof materials/colors should be visually compatible and complimentary of the style and period of the structure.” In this case, the applicant is proposing to utilize a traditional composite asphalt shingle, which is visually compatible with other structures in the district; however, the applicant is also proposing to utilize standing seam metal roofing as an accent material on certain portions of the roof. This has been used on other properties in Planned Development District 50 (PD-50) (*i.e. the Spafford House*), but does remain a discretionary decision for the Historic Preservation Advisory Board (HPAB) when considering the Certificate of Appropriateness (COA).
- (5) *Front Yards*. As was stated previously, staff has recommended to the applicant changing the western building elevation to incorporate an entryway giving the appearance that the property fronts to S. Goliad Street. In addition, the applicant will be required to provide a detailed landscape plan with the site plan for the front yard areas.
- (6) *Side Yards*. The proposed site plan does appear to conform with the majority of the guidelines’ suggestions relating to the side yard; however, staff should point out that currently a staircase appears to be in the ten (10) foot side yard setback. This encroachment would require approval by the Board of Adjustments (BOA) prior to the approval of the site plan.
- (7) *Fences*. Currently, there is an existing chain-link fence located along the rear of the property. The adjacent property is zoned Single Family 7 (SF-7) District, and -- *as a result* -- the project will require three (3) tiered screening or a masonry screening wall along this adjacency. Staff has outlined this requirement below.
- (8) *Driveways*. The proposed driveways conform to the guidelines.
- (9) *Paving Materials*. All of the proposed paving will be concrete and conform to the City’s guidelines, codes and standards of design.
- (10) *Parking Areas for Commercial Development*. According to the guidelines, “(a)ll parking lots for more than five (5) vehicles and having frontage on a public street should be screened from the street by an evergreen hedge not lower than three (3) feet nor higher than four (4) feet tall. If a hedge is not desired than an earthen berm, masonry wall, or combination thereof may be substituted ...” The applicant is currently not showing the incorporation of any screening for the parking areas. Staff has added this as a condition of approval of the Certificate of Appropriateness (COA).
- (11) *Lighting of Yards and Parking Areas*. This will be reviewed at the time of site plan.
- (12) *Paint and Color*. Based on the color rendering provided by the applicant the colors of the proposed building appear to be in conformance with the guidelines.
- (13) *Signage for Commercial Properties*. All signage is required to conform to the requirements of the North Goliad Corridor Overlay (NGC OV) District.

With respect to the remainder of the proposed site plan staff has identified the following issues relating to the requirements of the Unified Development Code (UDC) that will need to be addressed with the site plan prior to approval from the Planning and Zoning Commission:

- (1) *Residential Adjacency*. Subsection 5.02(B), *Screening from Residential*, of Article VIII, *Landscape and Screening Standards*, of the Unified Development Code (UDC) requires either [1] a minimum six (6) masonry fence with canopy trees on 20-foot centers or [2] three (3) tiered screening with a minimum six (6) wrought iron fence be established adjacent to, “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property...” In this case, the property directly east of the subject property is zoned Single Family 7



(SF-7) District. Currently, there is an existing six (6) foot chain-link fence on this property that is adjacent to the eastern boundary of the subject property. Section 8.02, *Non-Residential Fences*, of Article VIII, *Landscape and Screening Standards*, of the UDC goes on to allow wood fences in conformance with the residential fencing standards for new residential fences be permitted in the Residential-Office (RO) District. Based on the applicant's submittal, staff is of the opinion that it would be appropriate for the applicant to either [1] request to incorporate three (3) tiered screening adjacent to the existing chain-link fence or [2] establish a new wood fence with canopy trees on 20-foot centers; however, this is a discretionary decision for the Planning and Zoning Commission at the time of site plan.

- (2) *Landscape Plan*. A more detailed landscape and treescape plan will be required to be submitted to ensure compliance to the tree planting requirements, which require a minimum of one (1) canopy tree and one (1) accent tree be planted adjacent to N. Goliad Street per 100 linear feet of frontage.

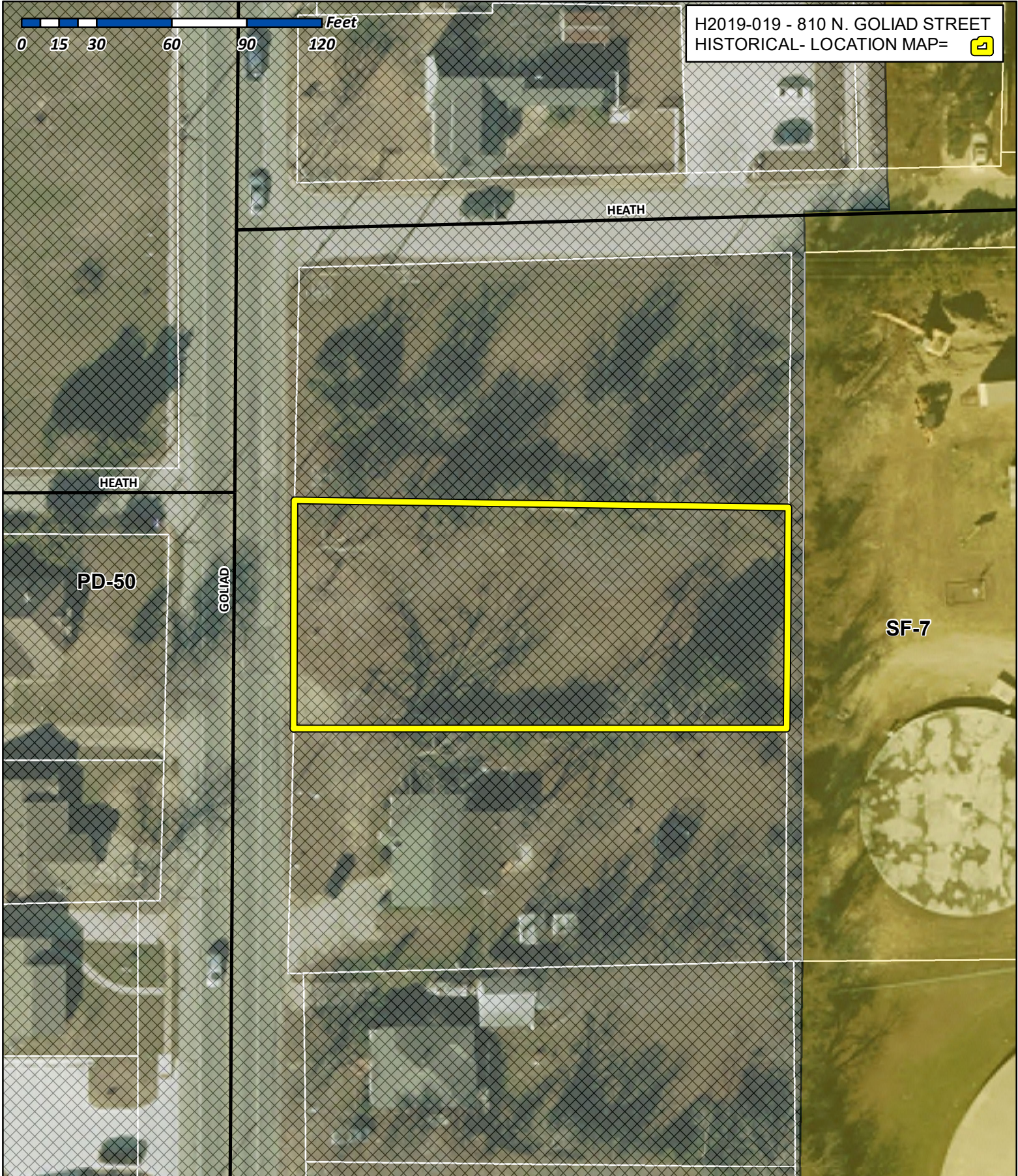
These issues have been added to the conditions of approval for this case.


### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Occupancy (COA), staff would propose the following conditions of approval:

- (1) A more detailed Landscape and Treescape Plan shall be submitted with the site plan showing conformance with the following:
  - (a) Landscaping and/or a berm -- *generally in conformance with the Historic Guidelines* -- should be incorporated in between N. Goliad Street and the parking lot to screen the parking areas;
  - (b) Conformance to the street tree requirements stipulated by Article VIII, *Landscape and Fence Standards*, of the Unified Development Code (UDC);
- (2) The alleyway situated on 808 N. Goliad Street will need to be verified prior to the approval of a site plan. Alternatively, the applicant can secure a cross access easement on the property;
- (3) The steps situated on the north side of the subject property are located within an established building setback and either need to be moved outside of the building setback or a variance needs to be approved by the Board of Adjustments (BOA) for the encroachment;
- (4) Residential screening -- *in conformance with Article VIII, Landscape and Fence Standards, of the Unified Development Code (UDC)* -- shall be required adjacent to the eastern property line;
- (5) The proposed building elevations are subject to review by the Architectural Review Board (ARB) as part of the site plan approval process;
- (6) A cross access easement (as depicted on the site plan) will need to be establish at the back of the subject property extending from the southern boundary of the subject property (*adjacent to 808 N. Goliad Street*) and extend to the northern boundary (*adjacent to 812 N. Goliad Street*); and,
- (7) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





H2019-019 - 810 N. GOLIAD STREET  
 HISTORICAL- LOCATION MAP= 

Feet

0 15 30 60 90 120

HEATH

HEATH

PD-50

GOLIAD

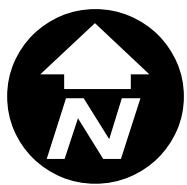
SF-7



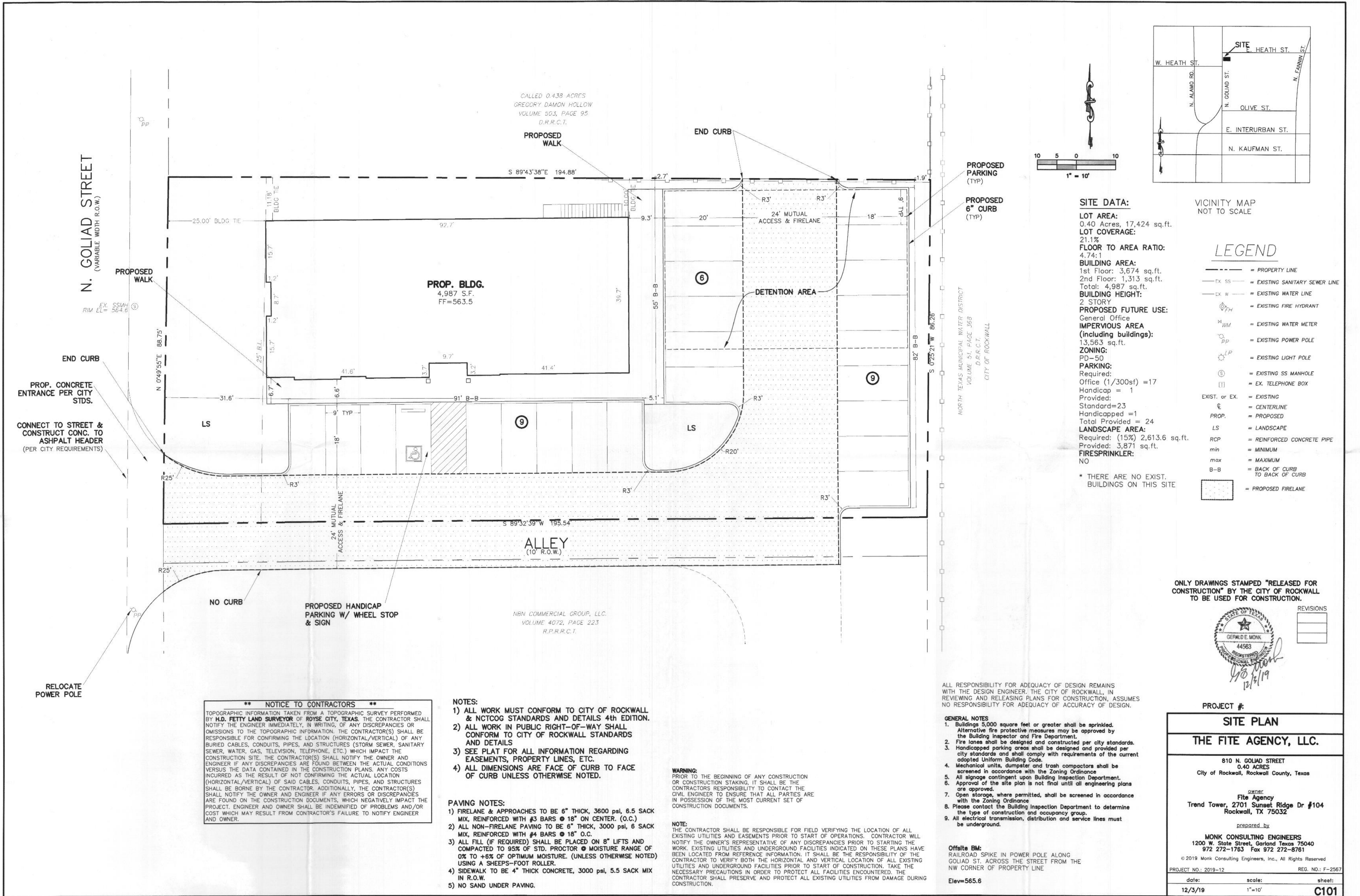
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

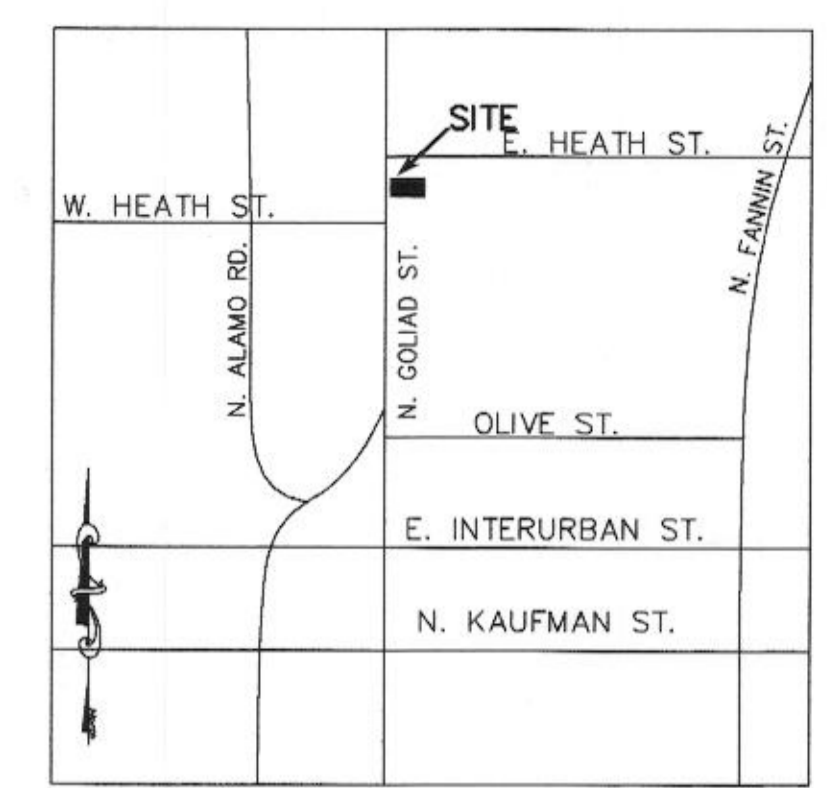
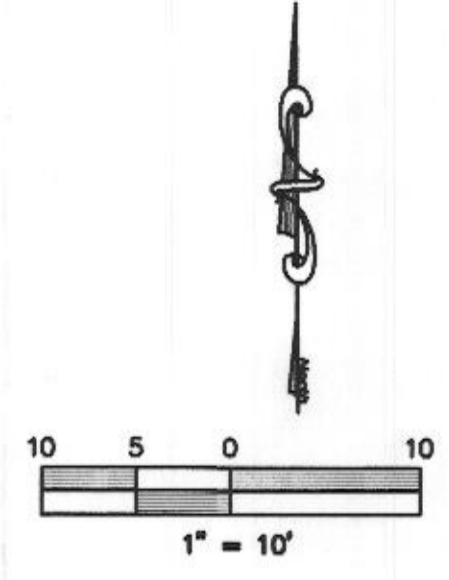
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







CALLED 0.438 ACRES  
GREGORY DAMON HOLLOW  
VOLUME 503, PAGE 95  
D.P.R.R.C.T.

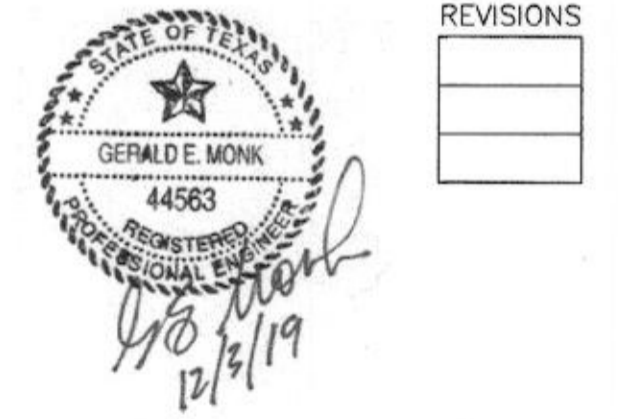


**SITE DATA:**  
**LOT AREA:**  
 0.40 Acres, 17,424 sq.ft.  
**LOT COVERAGE:**  
 21.1%  
**FLOOR TO AREA RATIO:**  
 4.74:1  
**BUILDING AREA:**  
 1st Floor: 3,674 sq.ft.  
 2nd Floor: 1,313 sq.ft.  
 Total: 4,987 sq.ft.  
**BUILDING HEIGHT:**  
 2 STORY  
**PROPOSED FUTURE USE:**  
 General Office  
**IMPERVIOUS AREA (including buildings):**  
 13,563 sq.ft.  
**ZONING:**  
 PD-50  
**PARKING:**  
 Required: Office (1/300sf) = 17  
 Handicap = 1  
 Provided: Standard=23  
 Handicapped=1  
 Total Provided = 24  
**LANDSCAPE AREA:**  
 Required: (15%) 2,613.6 sq.ft.  
 Provided: 3,871 sq.ft.  
**FIRESPRINKLER:**  
 NO  
 \* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

**LEGEND**

---	= PROPERTY LINE
EX SS	= EXISTING SANITARY SEWER LINE
EX W	= EXISTING WATER LINE
⊕	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
⊙	= EXISTING SS MANHOLE
⊠	= EX. TELEPHONE BOX
EXIST. or EX.	= EXISTING
⊕	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
[Pattern]	= PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**\*\* NOTICE TO CONTRACTORS \*\***  
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group
  9. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
 RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE  
 Elev=565.6

**PROJECT #:**

**SITE PLAN**

**THE FITE AGENCY, LLC.**

810 N. GOLIAD STREET  
 0.40 ACRES  
 City of Rockwall, Rockwall County, Texas

OWNER:  
**Fite Agency**  
 Trend Tower, 2701 Sunset Ridge Dr #104  
 Rockwall, TX 75032

prepared by  
**MONK CONSULTING ENGINEERS**  
 1200 W. State Street, Garland Texas 75040  
 972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2019-12 REG. NO.: F-2567  
 date: 12/3/19 scale: 1"=10' sheet: C101



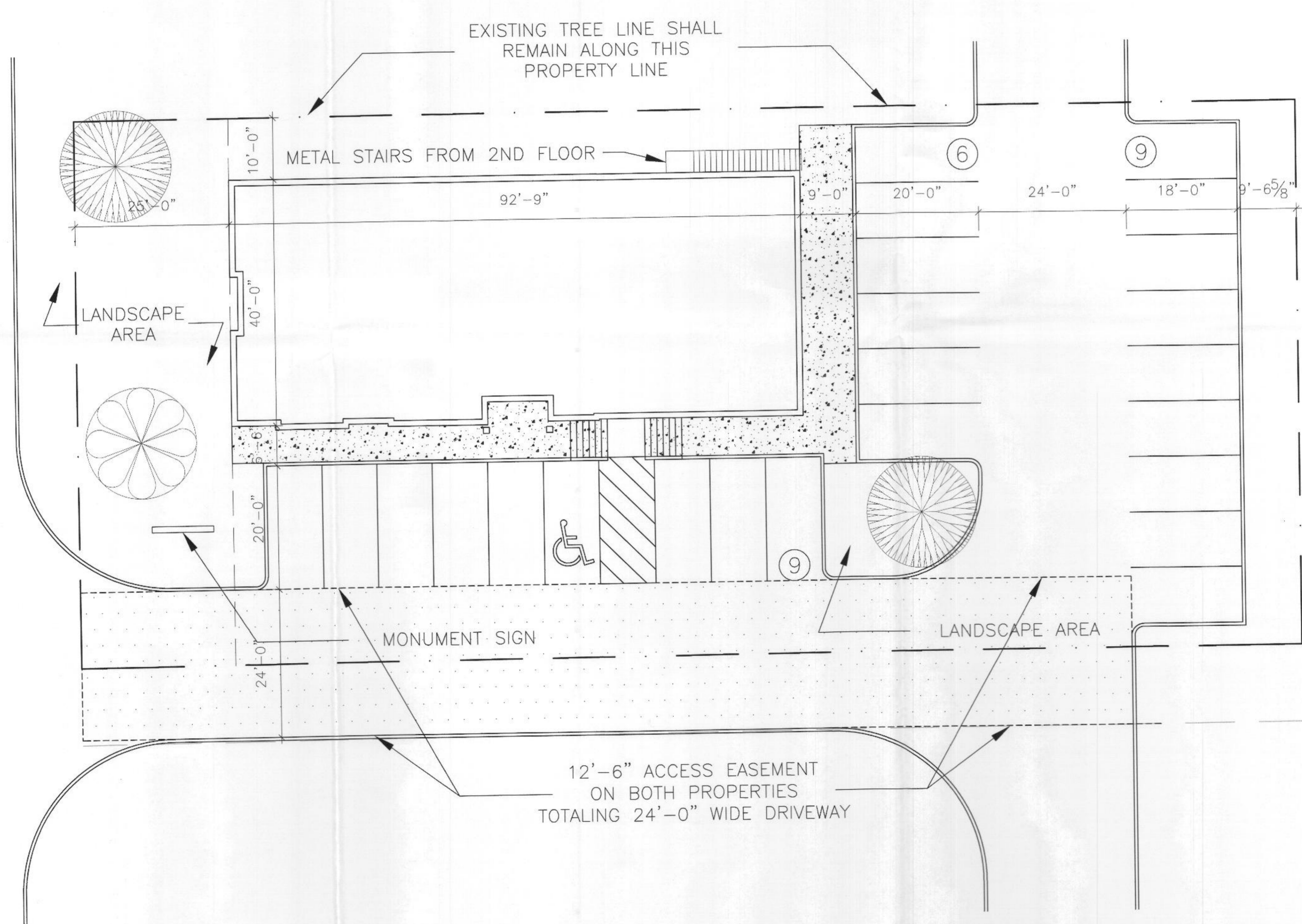








GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER (Ø)	
	RED BUD (2) 4' HIGH ● INSTALLATION
	BURR OAK (1) 4" MIN. CALIPER

- GENERAL NOTES:
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
  - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM 1/2" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
  - EA SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
  - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
  - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
  - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
  - REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  - OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.

NORTH  
**1** LANDSCAPE PLAN  
 SCALE: 1:10

THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS: THE FITE AGENCY, LLC, DOCUMENT #2018000022302 Q.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	

OWNER REVIEW:	11-22-2019
ISSUE:	

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PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
 810 Goliad St.  
 Rockwall, Texas 75087

THE FITE AGENCY  
 2701 Sunset Ridge,  
 Ste. 104  
 Rockwall, TX. 75087

750 E. Interstate 30  
 Suite 110, TX 75087  
 Rockwall, TX 75087  
 P: 972-732-6085  
 F: 972-732-8058

**LANDSCAPE PLAN**

DATE: JUL 2019 SHEET NO:  
 PROJECT NO: 2018055  
 DRAWN BY: L1  
 CHECKED BY: